



**SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
ENVIRONMENTAL RESOURCE PERMIT NO. 06-01400-S-24  
DATE ISSUED: September 29, 2015**

**PERMITTEE:** CA MIAMI 20700 GR LLC.  
3000 OLYMPIC BLVD.  
SUITE 2120  
SANTA MONICA, FL 90404

**PROJECT DESCRIPTION:** Modification for the construction and operation of a stormwater management system and onsite mitigation area to serve a 43.42 acre institutional project known as Franklin Academy Pembroke Pines Middle and High School.

**PROJECT LOCATION:** BROWARD COUNTY, SEC 35 TWP 50S RGE 39E

**PERMIT DURATION:** See Special Condition No:1.

This is to notify you of the District's agency action for Permit Application No. 131216-12, dated December 16, 2013. This action is taken pursuant to the provisions of Chapter 373, Part IV, Florida Statutes (F.S).

Based on the information provided, District rules have been adhered to and an Environmental Resource Permit is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing.
2. the attached 18 General Conditions (See Pages : 2 - 4 of 7),
3. the attached 21 Special Conditions (See Pages : 5 - 7 of 7) and
4. the attached 4 Exhibit(s)

Should you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights," we will assume that you concur with the District's action.

**CERTIFICATE OF SERVICE**

I HEREBY CERTIFY THAT this written notice has been mailed or electronically transmitted to the Permittee (and the persons listed in the attached distribution list) this 29th day of September, 2015, in accordance with Section 120.60(3), F.S. Notice was also electronically posted on this date through a link on the home page of the District's website ([my.sfwmd.gov/ePermitting](http://my.sfwmd.gov/ePermitting)).

BY: \_\_\_\_\_  
Ricardo A. Valera, P.E.  
Bureau Chief - Environmental Resource Compliance  
Regulation Division

## GENERAL CONDITIONS

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized shall subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S. (2012).
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the "State of Florida Erosion and Sediment Control Designer and Reviewer Manual" (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the "Florida Stormwater Erosion and Sedimentation Control Inspector's Manual" (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice" indicating the expected start and completion dates. If available, an Agency website that fulfills this notification requirement may be used in lieu of the form.
5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
  - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex- "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit"[Form 62-330.310(3)]; or
  - b. For all other activities- "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].
  - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
  - a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as- built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Applicant's Handbook Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
  - b. Within 30 days of submittal of the as- built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the Agency in writing of changes required by any other regulatory agency that

## GENERAL CONDITIONS

require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.

9. This permit does not:
  - a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
  - b. Convey to the permittee or create in the permittee any interest in real property;
  - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
  - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the Agency in writing:
  - a. Immediately if any previously submitted information is discovered to be inaccurate; and
  - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.
13. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other

## GENERAL CONDITIONS

uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.

17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

## SPECIAL CONDITIONS

1. The construction phase of this permit shall expire on September 29, 2020.
2. Operation and maintenance of the stormwater management system shall be the responsibility of CA MIAMI 20700 GR LLC.
3. Lake side slopes shall be no steeper than 4:1 (horizontal:vertical) to a depth of two feet below the control elevation. Side slopes shall be nurtured or planted from 2 feet below to 1 foot above control elevation to insure vegetative growth, unless shown on the plans.
4. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
5. Minimum building floor elevation: 8.5 feet NAVD
6. Minimum parking lot elevation: 6.4 feet NAVD
7. Prior to initiating construction activities associated with this Environmental Resource Permit (ERP), the permittee is required to hold a pre-construction meeting with field representatives, consultants, contractors, District Environmental Resource Compliance (ERC) staff, and any other local government entities as necessary.

The purpose of the pre-construction meeting is to discuss construction methods, sequencing, best management practices, identify work areas, staking and roping of preserves where applicable, and to facilitate coordination and assistance amongst relevant parties.

To schedule a pre-construction meeting, please contact ERC staff from the West Palm Beach Office at (561) 686-8800 or via e-mail at: [pre-con@sfwmd.gov](mailto:pre-con@sfwmd.gov). When sending a request for a pre-construction meeting, please include the application number, permit number, and contact name and phone number.

8. The following are exhibits to this permit. Exhibits noted as incorporated by reference are available on the District's ePermitting website (<http://my.sfwmd.gov/ePermitting>) under this application number.

Exhibit No. 1 Location Map

Exhibit No. 2 Grading & Drainage Plans / Erosion Control Plans

Exhibit No. 3 Environmental Documents

Exhibit No. 4 Functional Assessment Scores

9. Prior to April 16, 2016, and prior to the commencement of construction, whichever occurs first, the permittee shall submit the following via ePermitting or to the Environmental Compliance staff at the local District office:
  - One certified copy of the recorded conservation easement document including exhibits.
  - A CD or DVD containing the easement data in a digital ESRI Geodatabase (mdb), ESRI Shapefile (shp) or AutoCAD Drawing Interchange (dxf) file format using Florida State Plane coordinate system, East Zone (3601), Datum NAD83, HARN with the map units in feet.
  - A map depicting the Conservation Easement over the best available satellite or aerial imagery.
  - Form 1001 ERP REG: Title, Possession, and Lien Affidavit, fully executed by the owner and notarized.The recorded easement shall utilize the form attached as Exhibit No. 3. This Exhibit may not be modified. The easement must be free of mortgages, liens, easements or other encumbrances or interests in the easement which District staff states are contrary to the intent of the easement. In the event it is later determined that there are encumbrances or interests in the easement which the District determines are contrary to the intent of the easement, the permittee shall be required to provide release or subordination

## SPECIAL CONDITIONS

of such encumbrances or interests.

10. A time zero monitoring report shall be conducted in accordance with Exhibit No. 3 for all created/restored wetlands. The plan shall include a survey of the areal extent, acreage and cross-sectional elevations of the created/restored areas and panoramic photographs for each habitat type. The report shall also include a description of planted species, sizes, total number and densities of each plant species within each habitat type as well as mulching methodology.
11. The wetland conservation areas and upland buffer zones may in no way be altered from their natural or permitted state. Activities prohibited within the conservation areas include, but are not limited to:
  - (a) construction or placing of buildings, roads, signs, billboards or other advertising, utilities or other structures on or above the ground;
  - (b) dumping or placing soil or material as landfill or dumping or placing of trash, waste, or unsightly or offensive materials;
  - (c) removal or destruction of trees, shrubs, or other vegetation - with the exception of exotic and nuisance vegetation removal;
  - (d) excavation, dredging, or removal of loam, peat, gravel, soil, rock, or other material substances in such manner as to affect the surface;
  - (e) surface use except for purposes that permit the land or water area to remain predominantly in its natural condition;
  - (f) activities detrimental to drainage, flood control, water conservation, erosion control, soil conservation, or fish and wildlife habitat preservation, including but not limited to ditching, diking or fencing;
  - (g) acts or uses detrimental to such retention of land or water areas; and
  - (h) acts or uses detrimental to the preservation of the structural integrity or physical appearance of sites or properties of historical, architectural, archaeological, or cultural significance.
12. A maintenance program shall be implemented in accordance with Exhibit No. 3 for the wetland areas on a regular basis to ensure the integrity and viability of those areas as permitted. Maintenance shall be conducted in perpetuity to ensure that the conservation areas are maintained free from Category 1 exotic vegetation (as defined by the Florida Exotic Pest Plant Council at the time of permit issuance) immediately following a maintenance activity. Maintenance in perpetuity shall also insure that conservation areas, including buffers, maintain the species and coverage of native, desirable vegetation specified in the permit. Coverage of exotic and nuisance plant species shall not exceed 5% of total cover between maintenance activities. In addition, the permittee shall manage the conservation areas such that exotic/nuisance plant species do not dominate any one section of those areas.
13. Weighted turbidity screens or other such turbidity control measures shall be utilized during construction. The selected turbidity control measures shall be weighted to extend to the bottom of the waterway and shall surround the construction/work areas.
14. Silt fencing shall be installed at the limits of construction to protect from silt and sediment deposition during the construction of the project. A floating turbidity barrier shall be installed during the construction of the final discharge structure into the adjacent canal/water body. The silt fencing and the turbidity barrier shall be installed in accordance with Exhibit No. 2. The sediment controls shall be installed prior to the commencement of any clearing or construction and the installation must be inspected by the District's Environmental Resource Compliance staff. The silt fencing and turbidity barriers shall remain in place and be maintained in good functional condition until all adjacent construction activities have been completed and all fill slopes have been stabilized.
15. A mitigation program for Franklin Academy shall be implemented in accordance with Exhibit No. 3. The permittee shall create/restore 7.1 acres of wetland mitigation and 1.6 acres of associated upland/open

## SPECIAL CONDITIONS

water buffers.

16. The successful completion of the mitigation plan is heavily dependent on proper site grading as shown on Exhibit 2. Therefore, prior to demobilizing equipment from the site and prior to planting, the permittee shall provide an as-built survey in accordance with the work schedule identified as Exhibit 3 and schedule an inspection by District Environmental Resource Compliance staff to ensure that appropriate elevations and slopes have been achieved.
17. Permanent physical markers designating the preserve status of the wetland preservation areas and buffer zones shall be placed as shown on Exhibit No. 3. The markers shall be maintained in perpetuity.
18. The use of triploid grass carp (*Ctenopharygodon idella*) for aquatic weed control (e.g. hydrilla) is not approved by the District, due to the presence of palatable wetland mitigation plantings. If grass carp are proposed for weed control in water bodies directly or indirectly connected to the mitigation plantings, the permittee shall apply for a permit modification to install and permanently maintain permanent exclusion barriers to prevent grass carp from entering mitigation area. If grass carp do enter the mitigation area, the permittee shall be responsible for removal of all grass carp specimens and the restoration of any mitigation acreage impacted due to grass carp grazing.
19. Activities associated with the implementation of the mitigation, monitoring and maintenance plan shall be completed in accordance with the work schedule attached as Exhibit No. 3. Any deviation from these time frames must be coordinated with the District's Environmental Resource Compliance staff, and may require a minor modification to this permit. Such requests must be made in writing and shall include (1) reason for the change, (2) proposed start/finish and/or completion dates; and (3) progress report on the status of the project development or mitigation effort.
20. A monitoring program shall be implemented in accordance with Exhibit No. 3. The monitoring program shall extend for a period of 5 years with annual reports submitted to District staff. At the end of the first monitoring period the mitigation area shall contain an 80% survival of planted vegetation. The 80% survival rate shall be maintained throughout the remainder of the monitoring program, with replanting as necessary. If native wetland, transitional, and upland species do not achieve an 80% coverage within the initial two years of the monitoring program, native species shall be planted in accordance with the maintenance program. At the end of the 5 year monitoring program the entire mitigation area shall contain an 80% survival of planted vegetation and an 80% coverage of desirable obligate and facultative wetland species.
21. The District reserves the right to require remedial measures to be taken by the permittee if monitoring or other information demonstrates that adverse impacts to onsite or offsite wetlands, upland conservation areas or buffers, or other surface waters have occurred due to project related activities.

## NOTICE OF RIGHTS

As required by Sections 120.569 and 120.60(3), Fla. Stat., the following is notice of the opportunities which may be available for administrative hearing or judicial review when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Not all of the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

### **RIGHT TO REQUEST ADMINISTRATIVE HEARING**

A person whose substantial interests are or may be affected by the South Florida Water Management District's (SFWMD or District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Fla. Stat. Persons seeking a hearing on a SFWMD decision which affects or may affect their substantial interests shall file a petition for hearing with the Office of the District Clerk of the SFWMD, in accordance with the filing instructions set forth herein, within 21 days of receipt of written notice of the decision, unless one of the following shorter time periods apply: (1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Fla. Stat.; or (2) within 14 days of service of an Administrative Order pursuant to Section 373.119(1), Fla. Stat. "Receipt of written notice of agency decision" means receipt of written notice through mail, electronic mail, or posting that the SFWMD has or intends to take final agency action, or publication of notice that the SFWMD has or intends to take final agency action. Any person who receives written notice of a SFWMD decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

If the District takes final agency action which materially differs from the noticed intended agency decision, persons who may be substantially affected shall, unless otherwise provided by law, have an additional Rule 28-106.111, Fla. Admin. Code, point of entry.

Any person to whom an emergency order is directed pursuant to Section 373.119(2), Fla. Stat., shall comply therewith immediately, but on petition to the board shall be afforded a hearing as soon as possible.

A person may file a request for an extension of time for filing a petition. The SFWMD may, for good cause, grant the request. Requests for extension of time must be filed with the SFWMD prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and that the SFWMD and any other parties agree to or oppose the extension. A timely request for an extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

### **FILING INSTRUCTIONS**

A petition for administrative hearing must be filed with the Office of the District Clerk of the SFWMD. Filings with the Office of the District Clerk may be made by mail, hand-delivery, or e-mail. Filings by facsimile will not be accepted. A petition for administrative hearing or other document is deemed filed upon receipt during normal business hours by the Office of the District Clerk at SFWMD headquarters in West Palm Beach, Florida. The District's normal business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Any document received by the Office of the District Clerk after 5:00 p.m. shall be deemed filed as of 8:00 a.m. on the next regular business day. Additional filing instructions are as follows:

- Filings by mail must be addressed to the Office of the District Clerk, P.O. Box 24680, West Palm Beach, Florida 33416.



- Filings by hand-delivery must be delivered to the Office of the District Clerk. Delivery of a petition to the SFWMD's security desk does not constitute filing. It will be necessary to request that the SFWMD's security officer contact the Office of the District Clerk. An employee of the SFWMD's Clerk's office will receive and file the petition.
- Filings by e-mail must be transmitted to the Office of the District Clerk at [clerk@sfwmd.gov](mailto:clerk@sfwmd.gov). The filing date for a document transmitted by electronic mail shall be the date the Office of the District Clerk receives the complete document. A party who files a document by e-mail shall (1) represent that the original physically signed document will be retained by that party for the duration of the proceeding and of any subsequent appeal or subsequent proceeding in that cause and that the party shall produce it upon the request of other parties; and (2) be responsible for any delay, disruption, or interruption of the electronic signals and accepts the full risk that the document may not be properly filed.

### **INITIATION OF AN ADMINISTRATIVE HEARING**

Pursuant to Sections 120.54(5)(b)4. and 120.569(2)(c), Fla. Stat., and Rules 28-106.201 and 28-106.301, Fla. Admin. Code, initiation of an administrative hearing shall be made by written petition to the SFWMD in legible form and on 8 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, SFWMD file number or any other SFWMD identification number, if known.
2. The name, address, any email address, any facsimile number, and telephone number of the petitioner and petitioner's representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the SFWMD's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the SFWMD's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the SFWMD's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the SFWMD to take with respect to the SFWMD's proposed action.

### **MEDIATION**

The procedures for pursuing mediation are set forth in Section 120.573, Fla. Stat., and Rules 28-106.111 and 28-106.401–.405, Fla. Admin. Code. The SFWMD is not proposing mediation for this agency action under Section 120.573, Fla. Stat., at this time.

### **RIGHT TO SEEK JUDICIAL REVIEW**

Pursuant to Section 120.68, Fla. Stat., and in accordance with Florida Rule of Appellate Procedure 9.110, a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal with the Office of the District Clerk of the SFWMD in accordance with the filing instructions set forth herein within 30 days of rendition of the order to be reviewed, and by filing a copy of the notice with the clerk of the appropriate district court of appeal.



**PROJECT EVALUATION:****PROJECT SITE DESCRIPTION:**

The site is located east of SW 208th Lane, south of Griffin Road, north of SW 54th Place, and west of SW 205th Avenue in the City of Pembroke Pines, Broward County. The site is located within the South Broward Drainage District S-9/S-10 Basin (Permit No. 06-01400-S). The site consists of an open pasture with disturbed wetlands and a small pond on the southern end. The west end of the parcel adjoins a mixed area with development and open pasture lands. The north property boundary is adjacent to a landscape facility with a mixture of non-native trees and shrubs and a single family residential development is located to the south and east. See Wetlands and Other Surface Waters section for additional information.

**LAND USE:****Construction****Project:****Total Project**

Building Coverage	1.72	acres
Dry Retention Areas	1.82	acres
Impervious	11.62	acres
Lake	8.69	acres
Lake Bank	1.20	acres
Pervious	18.37	acres
<b>Total:</b>	<b>43.42</b>	

**WATER QUANTITY :****Discharge Rate :**

The proposed project is consistent with the land use and site grading assumptions from the design of the master stormwater management system for the S-9/S-10 Basin. Therefore, the stormwater management system for this project has not been designed to limit discharge for the design event to a specified rate.

**Control Elevation :**

Basin	Area (Acres)	Ctrl Elev ( ft, NAVD 88)	WSWT Ctrl Elev ( ft, NAVD 88)	Method Of Determination
Site	43.40	2.49	2.49	Previously Permitted

**WATER QUALITY :**

Water quality treatment is provided in dry retention areas, exfiltration trench and the wet detention area as part of the overall South Broward Drainage District S-9/S-10 Basin.

**WETLANDS:**

**Wetlands And Other Surface Waters:**

Based upon the results of field evaluations of vegetation, soils, and surface hydrology, the Franklin Academy site contains approximately 3.5 acres of wetlands. The wetlands can be generally described as degraded freshwater marshes. Additional wetland information, including their locations, is included as part of Exhibit 3.

**Mitigation Plan:**

As a result of the construction of the institutional project, the applicant proposes a total of 3.5 acres of direct impacts to existing degraded wetlands. The applicant has conducted an alternatives analysis which demonstrates that practicable design modifications have been explored to reduce and eliminate wetland impacts (see permit file).

To offset 3.5 acres of wetland impacts associated with construction, the project will restore 7.1 acres of wetlands onsite. Wetland elevations have been specifically designed to accommodate regional variations in water levels. However, an adaptive management plan has also been submitted to provide additional reasonable assurances of mitigation success. A 1.6 acre upland/open water buffer will be constructed. Signs denoting the conservation status of these wetlands will also be installed to minimize potential negative secondary impacts.

A grass carp fence will be constructed at the SW corner of the site. The grass carp fence will be installed prior to initial flooding of the wetland. If grass carp are found to have entered the site, they must be removed.

Based on Chapter 62-345.100 of the Florida Administrative Code, a UMAM assessment (Uniform Mitigation Assessment Method) of both the proposed impact sites and onsite mitigation plan was conducted (Exhibit 4). Based on this assessment, a total of 3.50 acres of direct wetland impacts will be offset by the functional units associated with the 8.7 acre onsite mitigation area.

Based on the provision of onsite mitigation and other project-specific biological data (see permit file), the institutional project will not result in unacceptable cumulative impacts to the New River cumulative impact basin.

No additional wetland impacts and/or construction activities are authorized under this permit.

**Monitoring/Maintenance:**

The permittee will monitor the onsite mitigation area for a minimum of five years or until District staff determines that mitigation success has been achieved. Monitoring will include vegetative cover, hydrologic conditions, wildlife usage, and recommendations for maintenance work. Success criteria/maintenance criteria are found in the special conditions and Exhibit 3. Annual reports shall be submitted to the District in accordance with the work schedule. After success is achieved, maintenance will be conducted in perpetuity by the permittee.

**Wetland Inventory :**

## CONSTRUCTION NEW -FRANKLIN ACADEMY

Site Id	Site Type	Pre-Development				Post-Development						
		Pre Fluc cs	AA Type	Acreage (Acres)	Current Wo Pres	With Project	Time Lag (Yrs)	Risk Factor	Pres. Adj. Factor	Post Fluc cs	Adj Delta	Functional Gain / Loss
A	ON	641	Direct	3.50	.47	.00				100	-.470	-1.645
B	ON	211	Restoration/Creation	5.20	.00	.67	5	2.25		641	.261	1.358
C	ON	211	Restoration/Creation	1.90	.00	.57	5	2.25		644	.222	.422
<b>Total:</b>				10.60								.14

<u>Fluc cs Code</u>	<u>Description</u>
100	Urban And Residential
211	Improved Pastures - Hydric
211	Improved Pastures - Upland
641	Freshwater Marshes
644	Emergent Aquatic Vegetation

**Fish And Wildlife Issues:**

The project site does contain degraded habitat for wetland-dependent endangered or threatened wildlife species or species of special concern. However, no wetland-dependent endangered/threatened species or species of special concern were observed onsite, and submitted information indicates that potential use of the site by such species is minimal. It is expected that the onsite wetland mitigation area will provide enhanced habitat for these species upon completion. This permit does not relieve the applicant from complying with all applicable rules and any other agencies' requirements if, in the future, endangered/threatened species or species of special concern are discovered on the site.

**LEGAL ISSUES:**

A total of 8.7 acres of wetland mitigation and associated buffers will be preserved onsite through the dedication of a joint conservation easement by the applicant to the District and Broward County. The conservation easement will be recorded according to the submitted work schedule. The recorded conservation easement shall utilize the draft conservation easement and legal sketches included as Exhibit 3.

An Irrevocable Letter of Credit in the amount of \$383,130.00, constituting 110% of the estimated cost of construction and subsequent maintenance/monitoring of the onsite mitigation area, has been provided by the applicant and is included as Exhibit 3.

**CERTIFICATION, OPERATION, AND MAINTENANCE:**

Pursuant to Chapter 62-330.310 Florida Administrative Code (F.A.C.), Individual Permits will not be converted from the construction phase to the operation phase until construction completion certification of the project is submitted to and accepted by the District. This includes compliance with all permit conditions, except for any long term maintenance and monitoring requirements. It is suggested that the

permittee retain the services of an appropriate professional registered in the State of Florida for periodic observation of construction of the project.

For projects permitted with an operating entity that is different from the permittee, it should be noted that until the construction completion certification is accepted by the District and the permit is transferred to an acceptable operating entity pursuant to Sections 12.1-12.3 of the Applicant's Handbook Volume I and Section 62-330.310, F.A.C., the permittee is liable for operation and maintenance in compliance with the terms and conditions of this permit.

In accordance with Section 373.416(2), F.S., unless revoked or abandoned, all stormwater management systems and works permitted under Part IV of Chapter 373, F.S., must be operated and maintained in perpetuity.

The efficiency of stormwater management systems, dams, impoundments, and most other project components will decrease over time without periodic maintenance. The operation and maintenance entity must perform periodic inspections to identify if there are any deficiencies in structural integrity, degradation due to insufficient maintenance, or improper operation of projects that may endanger public health, safety, or welfare, or the water resources. If deficiencies are found, the operation and maintenance entity will be responsible for correcting the deficiencies in a timely manner to prevent compromises to flood protection and water quality. See Section 12.4 of Applicant's Handbook Volume I for Minimum Operation and Maintenance Standards.

**RELATED CONCERNS:****Water Use Permit Status:**

The applicant has indicated that surface water will be used as a source for irrigation water for the project. Water Use Application Number 131226-15 has been submitted and is being processed concurrently for this project.

The applicant has indicated that dewatering is required for construction of this project. The applicant has indicated that dewatering for this project qualifies as eligible for a General Permit by Rule.

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation.

**CERP:**

The proposed project is not located within or adjacent to a Comprehensive Everglades Restoration Project component.

**Potable Water Supplier:**

City of Pembroke Pines

**Waste Water System/Supplier:**

City of Pembroke Pines

**Right-Of-Way Permit Status:**

A District Right-of-Way Permit is not required for this project.

**DRI Status:**

This project is not a DRI.

**Historical/Archeological Resources:**

The District has received correspondence on January 6, 2014, from the Florida Department of State, Division of Historical Resources indicating that no significant archaeological or historical resources are recorded in the project area and therefore is unlikely to have an effect upon any such properties.

**DEO/CZM Consistency Review:**

The issuance of this permit constitutes a finding of consistency with the Florida Coastal Management Program.

**Third Party Interest:**

No third party has contacted the District with concerns about this application.

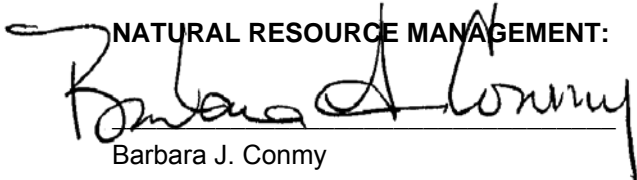
**Enforcement:**

There has been no enforcement activity associated with this application.

**STAFF REVIEW:**


**DIVISION APPROVAL:**

**NATURAL RESOURCE MANAGEMENT:**

  
\_\_\_\_\_  
Barbara J. Conmy

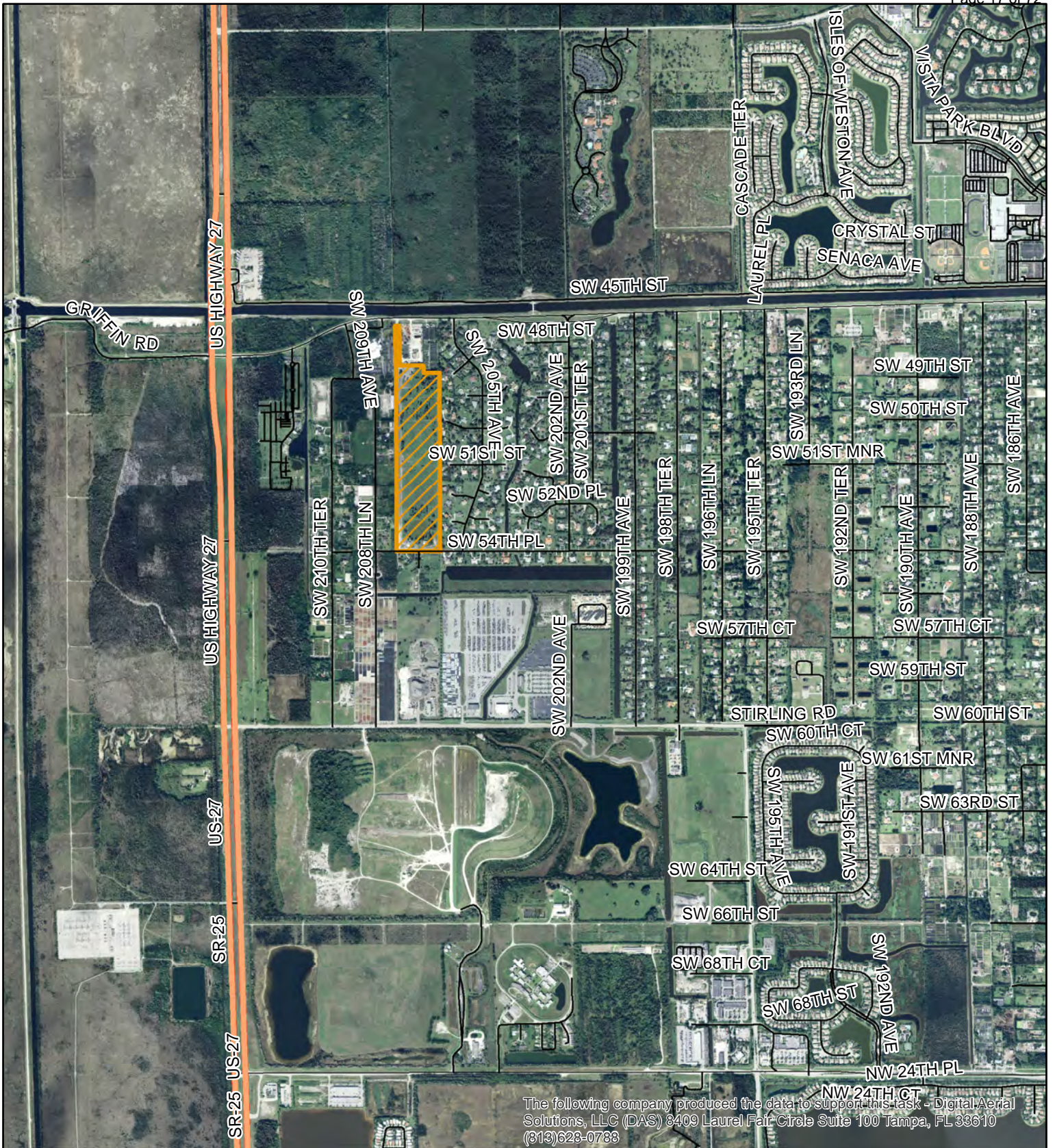
DATE: 28 Sep 2015  
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**SURFACE WATER MANAGEMENT:**






  
\_\_\_\_\_  
Carlos A. de Rojas, P.E.

DATE: 18-Sep-2015  
\_\_\_\_\_





The following company produced the data to support this task - Digital Aerial Solutions, LLC (DAS) 8409 Laurel Fair Circle Suite 100 Tampa, FL 33610 (313)623-0783

<p><b>Exhibit No: 1</b></p>	<p>Exhibit Created On: 2015-09-28</p>	<p>BROWARD COUNTY, FL</p>	<p> Application</p> <p>Permit No: 06-01400-S-24</p> <p>Application Number: 131216-12</p> <p></p> <p>Created by  South Florida Water Management District</p>
<p align="center"><b>REGULATION DIVISION</b></p> <p align="center">Project Name: FRANKLIN ACADEMY PEMBROKE PINES MIDDLE AND HIGH SCHOOL</p> <p align="center">N</p> <p>0      0.325      0.65   Miles</p> <p></p>			

# FRANKLIN ACADEMY - MIDDLE AND AND HIGH SCHOOL (GRIFFIN RD) PEMBROKE PINES, FLORIDA

Exhibit No. 2

Application No. 131216-12

Page 1 of 17

### LEGAL DESCRIPTION:

ALL THOSE PORTIONS OF TRACTS 56 AND 57, SECTION 26, TOWNSHIP 50 SOUTH, RANGE 39 EAST, EVERGLADES LAND COMPANY SUBDIVISION, AS RECORDED IN PLAT BOOK 2, AT PAGE 1, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LYING SOUTH OF THE SOUTH RIGHT-OF-WAY LINE OF GRIFFIN ROAD;

TOGETHER WITH: ALL OF TRACTS 8, 9, 24 AND 25 OF SECTION 35, TOWNSHIP 50 SOUTH, RANGE 39 EAST, OF SAID EVERGLADES LAND COMPANY SUBDIVISION, AS RECORDED IN PLAT BOOK 2, AT PAGE 1, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; ALL LESS THE FOLLOWING TWO (2) PARCELS OF LAND, TO WIT:

PARCEL 1: THE NORTH 603.83 FEET OF SAID TRACTS 56 AND 57, LYING SOUTH OF THE SOUTH RIGHT-OF-WAY LINE OF GRIFFIN ROAD, LESS THE EAST 239.95 FEET, AND LESS THE WEST 60.00 FEET OF SAID SECTION 26 THEREOF.

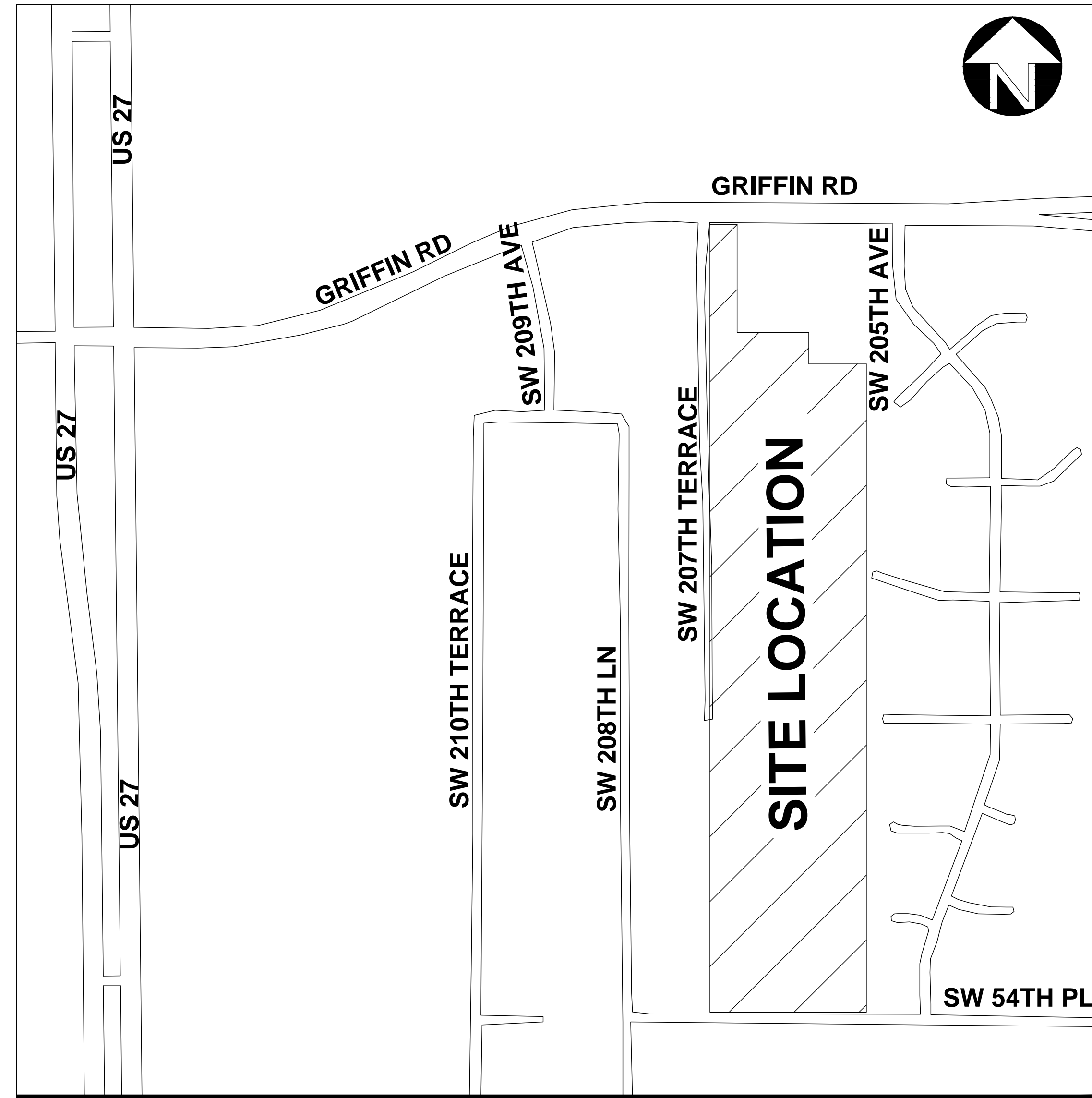
PARCEL 2: THE EAST 239.93 FEET OF THE NORTH 726.00 FEET OF SAID TRACTS 56 AND 57, LYING SOUTH OF THE SOUTH RIGHT-OF-WAY LINE OF GRIFFIN ROAD.

ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF SECTION 35, TOWNSHIP 50 SOUTH, RANGE 39 EAST ; THENCE NORTH 01°18'14" WEST, ALONG THE WEST LINE OF SECTION 26, TOWNSHIP 50 SOUTH, RANGE 39 EAST, A DISTANCE OF 814.60 FEET; THENCE SOUTH 89°57'06" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF GRIFFIN ROAD AS DESCRIBED IN OFFICIAL RECORDS BOOK 5419, PAGE 281, SAID PUBLIC RECORDS, A DISTANCE OF 60.02 FEET; THENCE SOUTH 01°18'14" EAST, ALONG A LINE 60.00 FEET EAST OF (AS MEASURED AT RIGHT ANGLES) AND PARALLEL WITH SAID WEST LINE, A DISTANCE OF 604.00 FEET; THENCE SOUTH 89°57'06" EAST, A DISTANCE OF 360.86 FEET; THENCE SOUTH 01°18'35" EAST, A DISTANCE OF 122.20 FEET; THENCE SOUTH 89°57'06" EAST, A DISTANCE OF 239.99 FEET; THENCE SOUTH 01°20'04" EAST, ALONG THE WEST LINE OF TRAILS OF EL RANCHO ACRES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 93, PAGE 34, SAID PUBLIC RECORDS A DISTANCE OF 86.42 FEET; THENCE SOUTH 00°13'19" EAST, ALONG THE WEST LINE OF SAID TRAILS OF EL RANCHO ACRES AND THE WEST LINE OF THE TRAILS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT 143, PAGE 35, SAID PUBLIC RECORDS, A DISTANCE OF 2,642.93 FEET; THENCE SOUTH 89°52'33" WEST, ALONG THE NORTH LINE OF TRACT 40, SAID EVERGLADES LAND COMPANY, A DISTANCE OF 660.38 FEET; THENCE NORTH 00°13'58" WEST, ALONG THE WEST LINE OF SAID SECTION 35, TOWNSHIP 50 SOUTH, RANGE 39 EAST, A DISTANCE OF 2,642.94 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

CONTAINING 1,891,485 SQUARE FEET (43.422 ACRES) MORE OR LESS.



### LOCATION MAP

NOT TO SCALE  
SECTION 35, TOWNSHIP 50 SOUTH, RANGE 39 EAST

PREPARED FOR:

FLORIDA CHARTER FOUNDATION, INC.

1120 S.E. 3RD AVENUE  
FORT LAUDERDALE, FL 33316



3325 SOUTH UNIVERSITY DRIVE, SUITE 111  
DAVIE, FLORIDA 33328  
(954)318-0624 (954)358-0190 FAX  
CERTIFICATE OF AUTHORIZATION No. 9808

### INDEX:

SHEET NO:	DWG NO:	DRAWING TITLE
--	--	COVER SHEET
1	C1.1	GENERAL NOTES AND SPECIFICATIONS (1 OF 2)
2	C1.2	GENERAL NOTES AND SPECIFICATIONS (2 OF 2)
3	C2.1	HORIZONTAL CONTROL PLAN (1 OF 4)
4	C2.2	HORIZONTAL CONTROL PLAN (2 OF 4)
5	C2.3	HORIZONTAL CONTROL PLAN (3 OF 4)
6	C2.4	HORIZONTAL CONTROL PLAN (4 OF 4)
7	C3.1	PAVING, GRADING AND DRAINAGE PLAN (1 OF 4)
8	C3.2	PAVING, GRADING AND DRAINAGE PLAN (2 OF 4)
9	C3.3	PAVING, GRADING AND DRAINAGE PLAN (3 OF 4)
10	C3.4	PAVING, GRADING AND DRAINAGE PLAN (4 OF 4)
11	C4.1A	WATER AND SANITARY SEWER PLAN (1A)
12	C4.1	WATER AND SANITARY SEWER PLAN (1 OF 4)
13	C4.2	WATER AND SANITARY SEWER PLAN (2 OF 4)
14	C4.3	WATER AND SANITARY SEWER PLAN (3 OF 4)
15	C4.4	WATER AND SANITARY SEWER PLAN (4 OF 4)
16	C5.1	WATER AND SANITARY SEWER PLAN & PROFILE
17	C6.1	LIFT STATION DETAILS
18	C7.0	FORCE MAIN KEY MAP PLAN
19	C7.1	FORCE MAIN PLAN & PROFILE (1 OF 4)
20	C7.2	FORCE MAIN PLAN & PROFILE (2 OF 4)
21	C7.3	FORCE MAIN PLAN & PROFILE (3 OF 4)
22	C7.4	FORCE MAIN PLAN & PROFILE (4 OF 4)
23	C8.1	PAVEMENT MARKING AND SIGNAGE PLAN (1 OF 4)
24	C8.2	PAVEMENT MARKING AND SIGNAGE PLAN (2 OF 4)
25	C8.3	PAVEMENT MARKING AND SIGNAGE PLAN (3 OF 4)
26	C8.4	PAVEMENT MARKING AND SIGNAGE PLAN (4 OF 4)
27	C8.5	PAVEMENT MARKING AND SIGNAGE DETAILS (1 OF 2)
28	C8.6	PAVEMENT MARKING AND SIGNAGE DETAILS (2 OF 2)
29	C9.1	FIRE ACCESS LANE PLAN (1 OF 4)
30	C9.2	FIRE ACCESS LANE PLAN (2 OF 4)
31	C9.3	FIRE ACCESS LANE PLAN (3 OF 4)
32	C9.4	FIRE ACCESS LANE PLAN (4 OF 4)
33	C10.1	POLLUTION AND EROSION CONTROL PLAN (1 OF 4)
34	C10.2	POLLUTION AND EROSION CONTROL PLAN (2 OF 4)
35	C10.3	POLLUTION AND EROSION CONTROL PLAN (3 OF 4)
36	C10.4	POLLUTION AND EROSION CONTROL PLAN (4 OF 4)
37	C11.1	PAVING, GRADING AND DRAINAGE DETAILS (1 OF 6)
38	C11.2	PAVING, GRADING AND DRAINAGE DETAILS (2 OF 6)
39	C11.3	PAVING, GRADING AND DRAINAGE DETAILS (3 OF 6)
40	C11.4	PAVING, GRADING AND DRAINAGE DETAILS (4 OF 6)
41	C11.5	PAVING, GRADING AND DRAINAGE DETAILS (5 OF 6)
42	C11.6	PAVING, GRADING AND DRAINAGE DETAILS (6 OF 6)
43	C12.1	WATER AND SEWER DETAILS (1 OF 2)
44	C12.2	WATER AND SEWER DETAILS (2 OF 2)

No.	DATE	REVISIONS

## STORMWATER PERMIT SET

100% CONSTRUCTION DOCUMENTS

ROBERT J. ROSS, P.E.  
STATE OF FLORIDA  
REGISTRATION NO. 59485  
DATE: 10/02/2014

GENERAL NOTES

- 1. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988...
2. DESIGN PLANS REFLECT PROJECT COMPLETION CONDITIONS.
3. ANY EXISTING STRUCTURES AND FENCES NOT SHOWN ON THE PLANS SHALL BE REMOVED AND/OR RELOCATED.

I. APPLICABLE CODES

A. GENERAL: ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF PEMBROKE PINES, BROWARD COUNTY DEPARTMENT OF PLANNING AND ENVIRONMENTAL SERVICES...

B. CONSTRUCTION SAFETY: ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER. SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.

C. TRENCH SAFETY ACT: 1. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE STATE OF FLORIDA TRENCH SAFETY ACT.

2. WHERE EXCAVATIONS TO A DEPTH IN EXCESS OF FIVE FEET (5') ARE REQUIRED THE CONTRACTOR SHALL INCLUDE THE FOLLOWING INFORMATION IN THE BID. A. A REFERENCE TO THE SAFETY STANDARDS THAT WILL BE IN EFFECT DURING THE PERIOD OF CONSTRUCTION OF THE PROJECT.

D. SURVEY DATA: ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAV88S).

II. PRECONSTRUCTION RESPONSIBILITY

- A. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE THE CITY OF PEMBROKE PINES ENGINEERING DIVISION, THE OWNER, AND THE ENGINEER...
B. THE CONTRACTOR SHALL OBTAIN A "SUNSHINE CERTIFICATION NUMBER" AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION.

III. INSPECTIONS

THE CONTRACTOR SHALL NOTIFY THE CITY OF PEMBROKE PINES ENVIRONMENTAL SERVICES DIVISION (954-435-6511), SBDD (954-680-3337), AND THE ENGINEER OF RECORD AT LEAST 24 HOURS PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:

- A. 1. STORM DRAINAGE.
2. SANITARY SEWER.
3. WATER SYSTEM.
4. SUBGRADE; SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK.
5. LIMEROCK BASE; SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT.

IV. SHOP DRAWINGS

- A. PRIOR TO ISSUANCE OF A CONSTRUCTION PERMIT, A MATERIAL LIST SHALL BE SUBMITTED TO AND REVIEWED BY THE ENGINEER OF RECORD AND THE CITY OF PEMBROKE PINES FOR SANITARY MANHOLES, HYDRANTS, PIPING, LIFT STATIONS AND OTHER ACCESSORIES.
B. ANY PRODUCT THAT IS NOT ON THIS LIST MUST BE APPROVED IN ADVANCE BY THE ENGINEER OF RECORD AND THE CITY OF PEMBROKE PINES ENGINEERING DIVISION.

V. TEMPORARY FACILITIES

- A. TEMPORARY UTILITIES: 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO HIS EMPLOYEE AND SUBCONTRACTORS FOR THEIR USE DURING CONSTRUCTION.
2. OBTAIN CONSTRUCTION METER FOR ALL WATER USED ON JOB. ALL WATER USED FOR CLEANING, TESTING, ETC. WILL BE PAID FOR BY THE CONTRACTOR.

VI. PROJECT CLOSE OUT

- A. CLEANING UP: 1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH.
2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEER OR THE CITY OF PEMBROKE PINES, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUBCONTRACTORS.

B. PROJECT RECORD DOCUMENTS:

- 1. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF ALL WORK ITEMS COMPLETED.
2. ALL "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDED IS A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
3. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF "AS-BUILT" CONSTRUCTION DRAWINGS.

VII. WATER DISTRIBUTION AND/OR SEWAGE FORCE MAIN SYSTEM

A. GENERAL:

- 1. THE CONTRACTOR SHALL NOTIFY THE CITY OF PEMBROKE PINES ENVIRONMENTAL SERVICES DIVISION AND THE ENGINEER OF RECORD NO LATER 24 HOUR PRIOR TO MAKING CONNECTIONS TO EXISTING SYSTEMS.
2. SEPARATION OF WATER AND SEWER MAINS: a. PARALLEL WATER AND SEWER MAINS SHALL HAVE A MINIMUM 10 FEET HORIZONTAL SEPARATION.
3. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS FOR THE WATER MAINS AND SEWER FORCE MAINS, AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND ACCEPTABLE TO THE CITY OF PEMBROKE PINES AND THE BROWARD COUNTY HEALTH DEPARTMENT.

B. MATERIAL:

- 1. PIPE: THE WATER MAIN AND/OR SEWAGE FORCE MAIN SHALL BE EITHER POLYVINYL CHLORIDE (PVC) OR DUCTILE IRON PIPE (DIP) AND SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE OF 150 PSI.
2. FITTINGS: FITTINGS SHALL BE DUCTILE IRON COMPACT MECHANICAL JOINT AND SHALL BE CLASS 350 THROUGH 24" CONFORMING TO ANSI/AWWA C153/A21.53-00, OR LATEST REVISION, AND CLASS 250 FOR RUBBER SEATED BUTTERFLY VALVES, OR LATEST REVISIONS.
3. VALVES: a. VALVES SHALL BE GATE VALVES FOR WATER (4"-12" SIZE), BUTTERFLY VALVES FOR WATER (16" AND UP SIZE), OR PLUG VALVES FOR FORCE MAIN (ALL SIZES).

4. FIRE HYDRANTS:

- a. FIRE HYDRANTS SHALL HAVE A MINIMUM 5 1/4" VALVE OPENING AND SHALL OPEN AGAINST THE PRESSURE AND CLOSE WITH THE FLOW. HYDRANTS SHALL MEET OR EXCEED ANSI/AWWA C502-94, C503-97 OR LATEST REVISION, AND SHALL COMPLY WITH FACTORY MUTUAL RESEARCH CORPORATION AND UNDERWRITERS LABORORIES UL246 STANDARD.
b. A BLUE REFLECTIVE PAVEMENT MARKER SHALL BE PROVIDED IN THE CENTER OF THE NEAREST LANES OF ROAD PAVEMENT ADJACENT TO ALL FIRE HYDRANT LOCATIONS.

5. DETECTOR TAPE:

DETECTOR TAPE SHALL BE 3" WIDE BLUE TAPE FOR WATER MAIN AND BROWN TAPE FOR FORCE MAIN, WITH A METALLIZED FOIL CORE LAMINATED BETWEEN 2 LAYERS OF PLASTIC FILM.

6. SERVICE CONNECTIONS:

- a. SERVICE SADDLES SHALL BE DUCTILE IRON EPOXY OR NYLON COATED WITH DOUBLE STAINLESS STEEL STRAPS OR SINGLE WIDE STRAP. SADDLES SHALL CONFORM TO ANSI/AWWA C111/211.11-00 AND ASTM A-588 OR LATEST REVISION.
b. SERVICE LINES SHALL BE POLYETHYLENE (PE) TUBING AS DESCRIBED IN ANSI/AWWA C901-02 OR LATEST REVISION, WITH A WORKING PRESSURE OF 200 PSI (OR 9) PIPE JOINTS SHALL BE OF THE COMPRESSION TYPE TOTALLY CONFINED GRIP SEAL AND COUPLING NUT.

7. TAPPING SLEEVES:

TAPPING SLEEVES SHALL BE DUCTILE IRON, ASTM GRADE 65-45-12.

8. VALVE BOXES:

- a. VALVE BOXES FOR WATER MAINS AND SEWER FORCE MAINS SHALL BE ADJUSTABLE SCREW TYPE WITH 5-1/4" SHAFT, 18 TO 24 INCH EXTENSION, CAST IRON ASTM-A48 CLASS 30 MARKED WATER OR SEWER.
b. VALVE BOXES FOR BLOW-OFF ASSEMBLY SHALL BE CAST IRON ASTM A-48 CLASS 30 MARKED WATER.

9. RETAINER GLANDS:

RETAINER GLANDS SHALL CONFORM TO ANSI/AWWA C111/A21.11-00 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING.

10. DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY:

THE ASSEMBLY SHALL CONFORM TO ANSI/AWWA C510-97, OR LATEST REVISION, AND CAPABLE OF WITHSTANDING A WORKING PRESSURE OF 200 PSI WITHOUT DAMAGE TO WORKING PARTS OR IMPAIRMENT OF FUNCTION.

INSTALLATION:

1. GENERAL:

- CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE USING ONE OF THE THREE FOLLOWING METHODS:
a. METHOD "A" PER BROWARD COUNTY PUBLIC HEALTH UNIT STANDARDS, WHICH INVOLVES A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW MAIN.
b. METHOD "B" PER BROWARD COUNTY PUBLIC HEALTH UNIT STANDARDS, WHICH INVOLVES A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO GATE VALVES SEPARATED BY A SLEEVE WITH A VENT PIPE.

3. PVC PIPE:

- a. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UN-BELL PLASTIC PIPE PLASTIC PIPE ASSOCIATION'S GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEMS.
b. DETECTOR TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL PVC MAINS APPROXIMATELY 18" BELOW GRADE, COLOR SIDE UP.
c. IDENTIFICATION TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL DIP MAINS APPROXIMATELY 18" ABOVE THE MAIN, COLOR SIDE UP.

5. VALVES:

- a. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" OR "SEWER" CAST IN THE COVER.
b. MAIN VALVES SHALL BE LOCATED ON AN EXTENSION OF THE RIGHT-OF-WAY LINE UNLESS DIMENSIONED OTHERWISE.
c. MAIN VALVES SHALL BE INSTALLED AWAY FROM PARKING AREAS. IF THIS IS UNAVOIDABLE, PROPER MEASURES SHALL BE TAKEN TO AVOID THE PARKING OF VEHICLES OVER THE VALVES.

6. SERVICE:

- a. COVER OVER SERVICE LINES SHALL BE 18 INCHES MINIMUM, 24 INCHES MAXIMUM BELOW FINISHED GRADE AND 24 INCHES UNDER PAVEMENT.
b. POLYETHYLENE SHALL BE BEDDED IN BACKFILL OF SAND WITH NO ROCK GREATER THAN 1/2" IN DIAMETER.
c. METER STOPS SHALL HAVE 8 INCHES TO 10 INCHES COVER OR AS REQUIRED FOR PROPER METER/BOX INSTALLATION.

7. COLOR CODING OF PIPING AT DRINKING WATER TREATMENT PLANTS:

ALL NEW OR ALTERED ABOVEGROUND PIPING AT WATER TREATMENT PLANTS SHALL BE COLOR CODED AND LABELED AS RECOMMENDED IN SECTION 2.14 OF "RECOMMENDED STANDARDS FOR WATER WORKS" AS INCORPORATED IN RULE 62-555.330, F.A.C. IN ADDITION, ALL UNDERGROUND WATER MAIN PIPE THAT IS INSTALLED AT DRINKING WATER PLANTS ON OR AFTER AUGUST 28, 2003, AND THAT IS CONVEYING FINISHED DRINKING WATER SHALL BE COLOR CODED AS REQUIRED UNDER SUBPARAGRAPH 62-555.320(21)(B)3, F.A.C. THIS SUBSECTION DOES NOT APPLY TO DRINKING WATER TREATMENT PLANT PIPING INSTALLED OR ALTERED UNDER A CONSTRUCTION PERMIT FOR WHICH THE DEPARTMENT RECEIVED A COMPLETE APPLICATION BEFORE AUGUST 28, 2003.

NOTE: APPROVAL OF THIS PLAN DOES NOT CONSTITUTE A PERMIT FOR CONSTRUCTION.

A PERMIT FOR CONSTRUCTION MUST BE OBTAINED FROM THE BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION PRIOR TO COMMENCING CONSTRUCTION IN THE PUBLIC RIGHT OF WAY.

BCHCED REF NO.131220101

D. TESTING:

- 1. THE PHYSICAL CONNECTION OF THE NEW SYSTEM TO THE EXISTING SYSTEM SHALL BE DONE IN ACCORDANCE WITH SECTION 2.14 OF THIS DOCUMENT WHICH WILL DICTATE THE ORDER OF THE PRESSURE TESTING AND DISINFECTION.
2. THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. THE PRESSURE TEST SHALL BE FOR TWO HOURS AT 150 PSI MINIMUM TEST PRESSURE IN ACCORDANCE WITH ANSI/AWWA C600-99 OR LATEST REVISION. THE PRESSURE TEST SHALL NOT VARY MORE THAN 5 PSI DURING THE TEST. LEAKAGE ALLOWANCES WILL NOT BE MADE FOR FITTINGS OR VALVES.
3. ALLOWABLE LEAKAGE SHALL NOT EXCEED THE FORMULA OF: L (GALLONS PER HOUR) = (S D (P) 0.5) / 148,000

L = ALLOWABLE LEAKAGE IN GALS/HR (NO ALLOWABLE LEAKAGE FOR VALVES)
S = LENGTH OF PIPE TESTED IN FEET
D = NOMINAL DIAMETER OF PIPE
P = AVERAGE TEST PRESSURE DURING TEST IN LBS/SQ. IN.

- 4. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CITY OF PEMBROKE PINES ENVIRONMENTAL SERVICES DIVISION AND THE ENGINEER OF RECORD.
5. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE BROWARD COUNTY HEALTH DEPARTMENT. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1500 FEET MAXIMUM FOR MOLECULAR WEIGHT MATERIAL AND MUST CONFORM TO ASTM D-2737.
6. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH ANSI/AWWA C651-05 OR LATEST REVISION WITH APPROVED BACTERIOLOGICAL SAMPLES AND PROPER DOCUMENTATION BY BROWARD COUNTY HEALTH DEPARTMENT. COLLECTION OF SAMPLES IS THE CONTRACTOR'S RESPONSIBILITY AND WILL BE WITNESSED BY A CITY OF PEMBROKE PINES ENVIRONMENTAL SERVICES DIVISION REPRESENTATIVE.

VIII. GRAVITY SEWAGE COLLECTION SYSTEM

MATERIALS:

A. 1. SEWER PIPE AND FITTINGS:

- a. PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE CONFORMING TO ASTM D-3034, SDR 35, WITH PUSH-ON RUBBER GASKET JOINTS UNLESS OTHERWISE NOTED.
b. DUCTILE IRON PIPE (DIP) SHALL BE DOUBLE CEMENT CONFORMING TO ANSI/AWWA C104/A21.4-03 OR LATEST REVISION, OR POLYETHYLENE LINED INSIDE CONFORMING TO ANSI/AWWA C105/A21.5-93, OR APPROVED EQUAL AND SHALL HAVE A COAL TAR EPOXY COATING, MANUFACTURED IN ACCORDANCE TO ANSI/AWWA C151/A21.51-96, OR LATEST REVISION, MINIMUM WALL THICKNESS CLASS 350 (UNLESS OTHERWISE SPECIFIED).
c. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER.

B. 1. PIPE AND FITTINGS:

- a. SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D-2321, AND THE UN-BELL PLASTIC PIPE ASSOCIATION'S "RECOMMENDED PRACTICE" FOR THE INSTALLATION OF PVC SEWER PIPE.
b. DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-93, OR LATEST REVISION.
c. BEDDING AND INITIAL BACKFILL 12 INCHES OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1/2" IN DIAMETER.
d. PIPE CONNECTION INTO MANHOLE WALL SHALL BE DUCTILE IRON PIPE, GROUTED IN PLACE, OR CAST-IN NEOPRENE RUBBER BOOT, OR EQUAL AS APPROVED BY THE CITY OF PEMBROKE PINES.

2. MANHOLES:

- a. MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE ON FIRM CLEAN SUBGRADE PROVIDING UNIFORM BEARING UNDER THE BASE.
b. ALL OPENINGS AND JOINTS SHALL BE SEALED WATER-TIGHT.
c. THE ENTIRE INSIDE OF THE MANHOLES SHALL BE PAINTED WITH TWO COATS (8 MILS EACH, DRY) OF COPPER'S 300-M BITUMASTIC COATING, OR APPROVED EQUAL. FIRST COAT RED, SECOND COAT BLACK, THE OUTSIDE OF EACH MANHOLE REQUIRES ONLY ONE COAT (8 MILS, DRY) OF THE SAME TYPE OF COATING.
d. MANHOLES SHALL BE INSTALLED AWAY FROM PARKING AREAS ON THE CENTERLINE OF THE ROADWAY. IF THIS IS UNAVOIDABLE, PROPER MEASURES SHALL BE TAKEN TO PROHIBIT THE PARKING OF VEHICLES OVER MANHOLES.

3. SERVICE:

- a. MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED IN THE "SOUTH FLORIDA BUILDING CODE" BROWARD COUNTY EDITION.
b. SERVICE LATERALS SHALL TERMINATE AT A DEPTH 30" BELOW FINISHED GRADE.
c. EACH SERVICE CONNECTION SHALL BE PLOUGGED WATERTIGHT WITH AN APPROVED PLUG.
d. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2" x 4" TREATED STAKE PAINTED RED, EXTENDING 18 INCHES (MINIMUM) ABOVE GRADE.
e. CONTRACTOR SHALL ROUGH IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND PLUG. AT PROJECT COMPLETION, CUT BACK TO FINISHED GRADE.

TESTING:

- 1. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENTIRE SYSTEM SHALL BE LAMPED. SEWER LAMPING SHALL BE WITNESSED BY THE ENGINEER OF RECORD AND A REPRESENTATIVE FROM THE CITY OF PEMBROKE PINES ENGINEERING DIVISION.
2. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE CITY OF PEMBROKE PINES OR THE ENGINEER OF RECORD MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.
3. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE CITY OF PEMBROKE PINES.
4. MANHOLE EXFILTRATION LEAKAGE SHALL NOT EXCEED 4 GALLONS PER DAY PER UNIT.
5. SEWER PIPE EXFILTRATION LEAKAGE SHALL NOT EXCEED 10 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED.
6. VISIBLE MANHOLE AND SEWER PIPE INFILTRATION LEAKAGE SHALL NOT BE PERMITTED.
7. SANITARY SEWER SHALL BE TELEVISED, AT DEVELOPER'S EXPENSE, PRIOR TO FINAL APPROVAL OF CONSTRUCTION. VIDEO TAPE AND REPORT SHALL BE EXAMINED BY THE CITY OF PEMBROKE PINES ENGINEERING DIVISION. OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING OF ANY DEFICIENCIES PRIOR TO THE CITY'S CERTIFICATION OF COMPLETION TO ANY AGENCY.

PERMIT SET

MUST BE ON JOBSITE AT ALL TIMES DURING CONSTRUCTION

ALL MATERIALS USED AND INSTALLATIONS WITHIN THE PUBLIC RIGHT OF WAY OR EASEMENTS SHALL BE IN ACCORDANCE WITH BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION SPECIFICATIONS

NOTICE

INSPECTION REQUIRED

24 HRS. PRIOR TO COMMENCING ANY WORK IN THE PUBLIC R/W CONTACT THE BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION AT 954-577-4600 FOR INSPECTION.



BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

- PLAN CONSISTENT WITH PLAT REQUIREMENTS
PUBLIC RIGHT OF WAY APPROVAL FOR PAVING, GRADING AND DRAINAGE

DATE: 09/05/2013
BY: 09/05/2013
DOES NOT INCLUDE APPROVAL OF PAVEMENT MARKINGS AND SIGNS

REVISIONS / SUBMISSIONS

CHANGES BASED ON BCHCED COMMENTS 04.01.14

Table with 2 columns: REVISIONS, SUBMISSIONS. Contains revision symbols and dates.

FRANKLIN ACADEMY - MIDDLE AND HIGH SCHOOL (GRIFFIN RD) PEMBROKE PINES, FLORIDA
100% CONSTRUCTION DOCUMENTS

GENERAL NOTES AND SPECIFICATIONS (1 OF 2) SHEET No. C1.1

ROSS ENGINEERING, INC. 3326 S University Drive Davie, Florida 33328
WWW.ROSSENGINEERS.COM

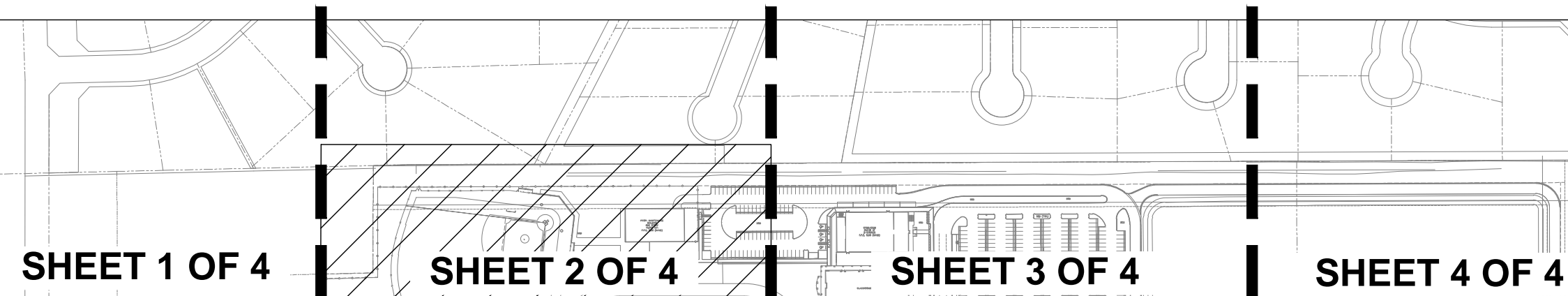
RE logo and contact information for ROBERT J. ROSS, P.E. FLORIDA P.E. No. 59485 DATE: 10/02/2014

Table with 2 columns: DESIGNED BY, DATE, DRAWN BY, DATE, CHECKED BY, DATE, APPROVED BY, DATE. Contains project dates and names.



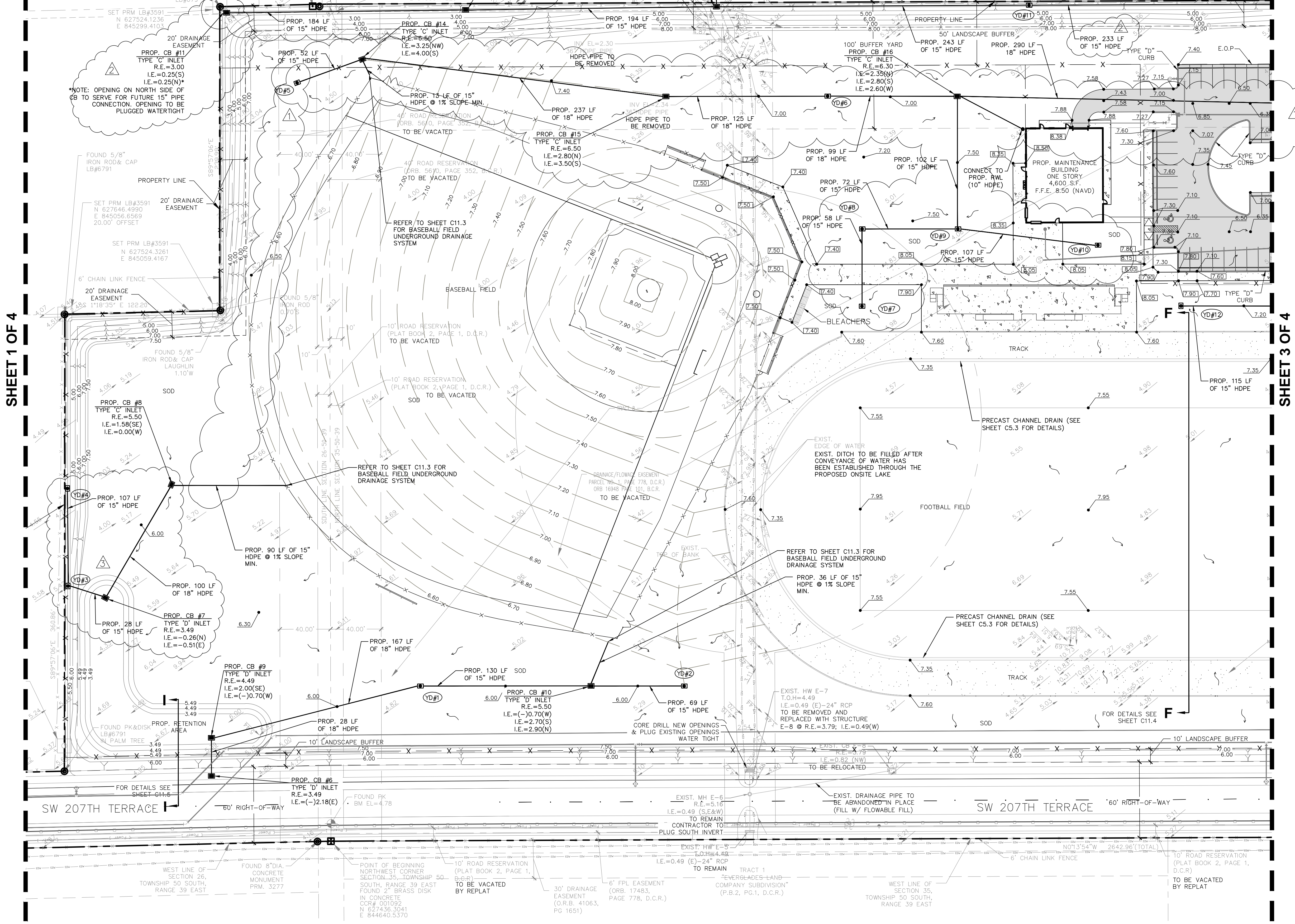






KEY MAP  
SCALE: 1" = 300'

- NOTES:**
- ALL ELEVATIONS DATUM SHOWN ON THE CONSTRUCTION DOCUMENTS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
  - NAVD TO NGVD CONVERSION FACTOR  
NAVD = NGVD - 1.51
  - OFF-SITE DRAINAGE ACROSS PROPERTY SHALL BE MAINTAINED AT ALL TIMES.
  - FIRE DEPARTMENT ACCESS ROADS HAVE BEEN DESIGNED AND ARE TO BE MAINTAINED TO SUPPORT IMPOSED LOADS OF FIRE APPARATUS (WEIGHING A MINIMUM OF 32 TONS).
  - REFER TO SHEET C3.1 FOR YARD DRAIN INFORMATION
  - ALL CATCH BASINS WITHIN RETENTION/SOD AREAS SHALL BE PROVIDED WITH AN 12" CONCRETE APRON.
  - 3" CIRCULAR BLEEDER SHALL BE INSTALLED ON NORTH SIDE OF CATCH BASIN STRUCTURE NO. 9, AND ON WEST SIDE OF CATCH BASIN STRUCTURE NO. 46 AND 47 (SEE DETAIL ON SHEET C11.2)



**LEGEND**

	PROPERTY LINE		SLOPE		PROPOSED MANHOLE
	EXISTING GRADE		PROPOSED GRADE		PROPOSED YARD DRAIN
	PROPOSED EXFILTRATION TRENCH		FLOW ARROW		PROPOSED CONCRETE
	PROPOSED DRAINAGE		EXISTING CATCH BASIN		PROPOSED ASPHALT 1-1/2" TYPE S-III IN 2-3/4" LIFTS, 8" LIMEROCK BASE, 12" STABILIZED SUBGRADE (40 LBR MIN.) W/TENSAR TRIAXIAL TX-160 GEOTRIB
	PROPOSED CATCH BASIN		PROPOSED HEADWALL		NEW TRACK SYNTHETIC SURFACE WITH 8X42" LANES. ALL TRACK LINES TO MEET NCAA REQUIREMENTS
	PROPOSED CURB INLET		EXISTING HEADWALL		E.O.P. EDGE OF PAVEMENT
			PROPOSED DRAINAGE CLEAN OUT		

**REVISIONS / SUBMISSIONS**

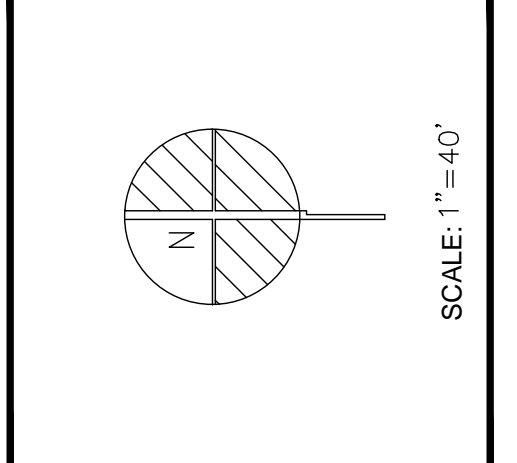
CHANGES BASED ON SBDD COMMENTS 03.18.14
CHANGES BASED ON SBDD COMMENTS 06.04.14
CHANGES BASED ON SBDD COMMENTS 07.31.14

**FRANKLIN ACADEMY - MIDDLE AND HIGH SCHOOL (GRIFFIN RD)**  
PEMBROKE PINES, FLORIDA

**100% CONSTRUCTION DOCUMENTS**

**PAVING AND DRAINAGE PLAN (2 OF 4)**

SHEET No. C3.2



**ROSS ENGINEERING, INC.**  
3326 S. University Drive  
Davie, Florida 33328  
O: 954.315.0524  
F: 954.355.0190

CERTIFICATE OF AUTHORIZATION No. 9808  
WWW.ROSSENGINEERS.COM



DESIGNED BY	DATE	09/05/2013
DRAWN BY	DATE	09/05/2013
CHECKED BY	DATE	09/05/2013
APPROVED BY	DATE	09/05/2013























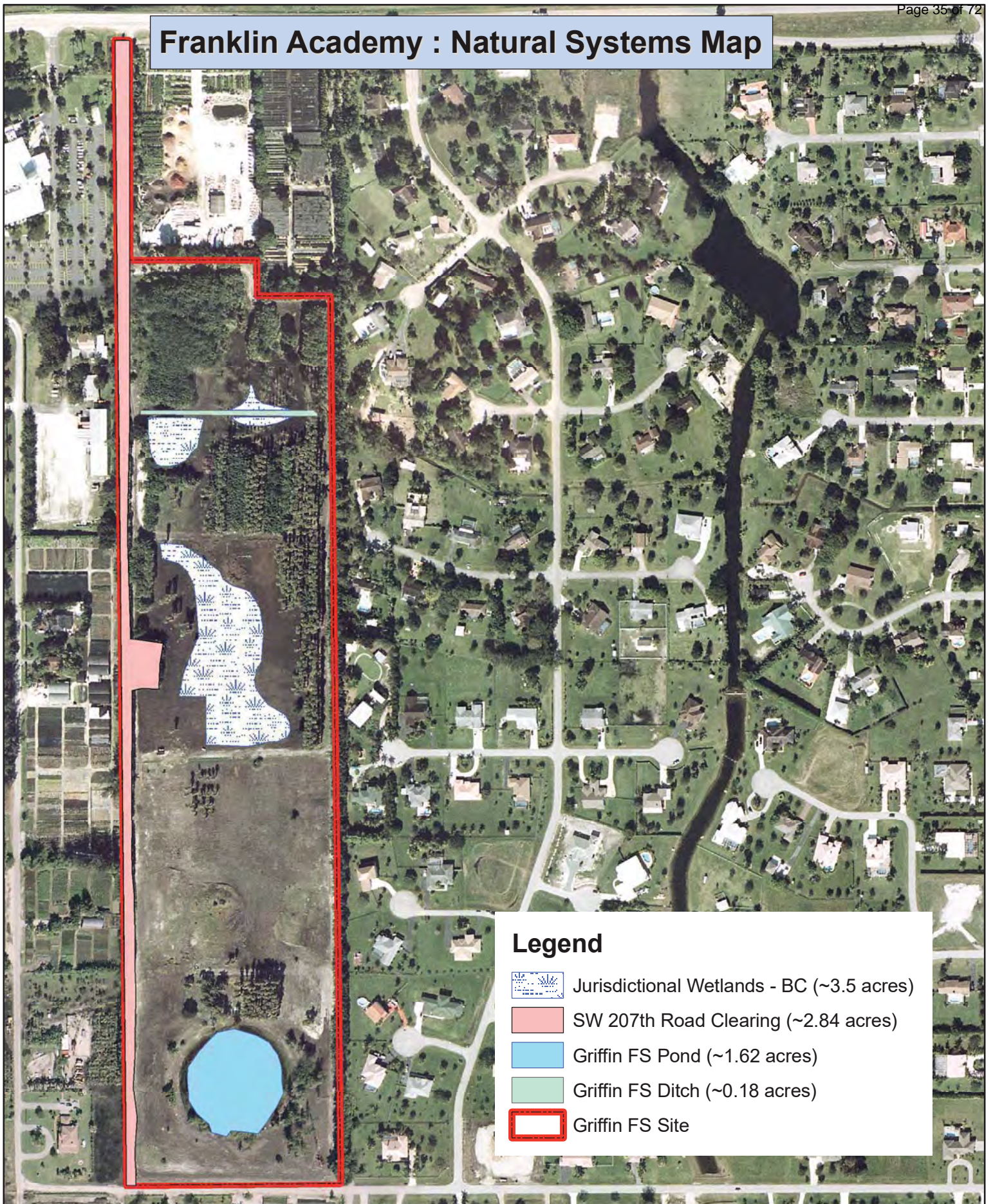










# Franklin Academy : Natural Systems Map



**Legend**

-  Jurisdictional Wetlands - BC (~3.5 acres)
-  SW 207th Road Clearing (~2.84 acres)
-  Griffin FS Pond (~1.62 acres)
-  Griffin FS Ditch (~0.18 acres)
-  Griffin FS Site

08/19/2013      Revised: 12/14/2013



0   95   190   380   570   760  
Feet

**J. J. Goldasich and Associates, Incorporated**



Ecological Services  
Natural System Analysis

(561) 883-9555  
jjg@jjgoldasich.com










**Franklin Academy**  
Broward County JD Wetlands  
and Natural System Map  
Broward County, Florida

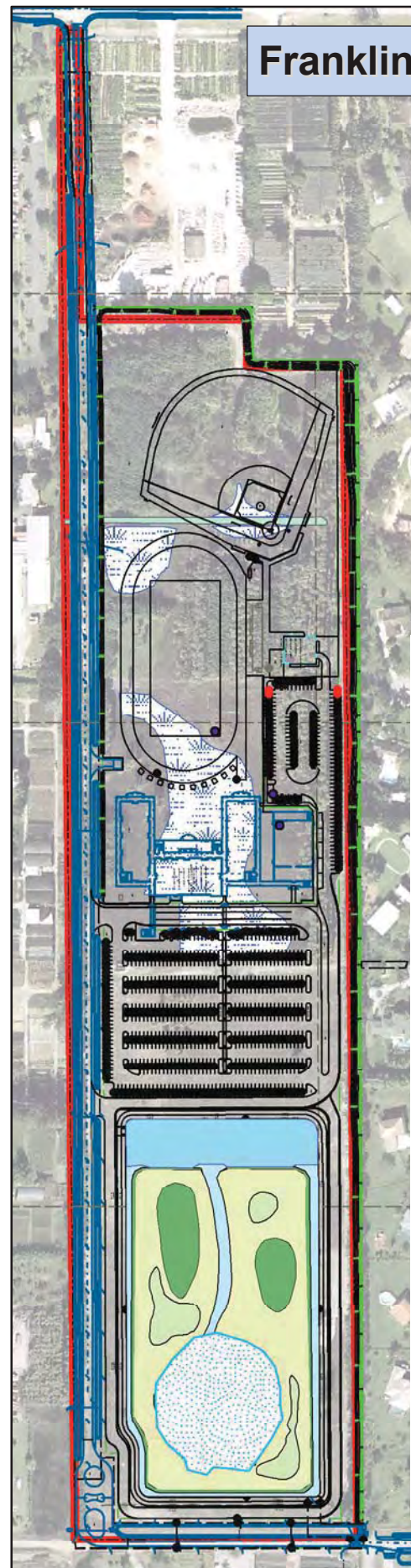
**ENV - 1**

# Franklin Academy : "Dredge and Fill" Totals


## Legend (Dredge and Fill)

**Total Wetland Fill = 3.5 ac. / 23,000 cu. yds.**  
**Total SW Fill = 0.18 ac. / 1,200 cu. yds.**  
**Total Upland Excavation = 7.1 ac. / 45,000 cu. yds.**  
**Total Conservation Area = 8.7 acres**  
**Total Mitigation Area: (7.1 acres)**  
**Mixed Wetland = 5.2 acres**  
**OW Channel (credit) = 0.6 acres**  
**Open Water (credit) = 1.3 acres**  
**Buffer = 1.6 acres [(1.2 ac upland and 0.4 OW) (no wetland mitigation credit)]**

-  Griffin FS Site (43.42 acres)
-  Marsh v2 (upl. excav. 3.7 ac., 17,000 cu. yds.)(credit)
-  Low Marsh v2 (upl. excav. 0.5 ac., 4,000 cu. yds.)(credit)
-  High Wetland v2 (upl. excav. 1.0 ac., 3,000 cu. yds.)(credit)
-  Channel v2 (upl. excav. 0.9 ac., 3,000 cu. yds.)(credit)
-  Pond (to remain + be enhanced) (~1.6 acres)(part credit)
-  OW Refugia (upl excav. 1.0 ac.; 18,000 cu. yds.)(part credit)
-  Wetlands Filled (~3.5 acres; 23,000 cu. yds.)
-  Ditch Filled (~0.18 acres; 1,200 cu. yds.)



08/19/2013      Revised: 08/08/2014

0   90   180   360   540   720  
  
 Feet

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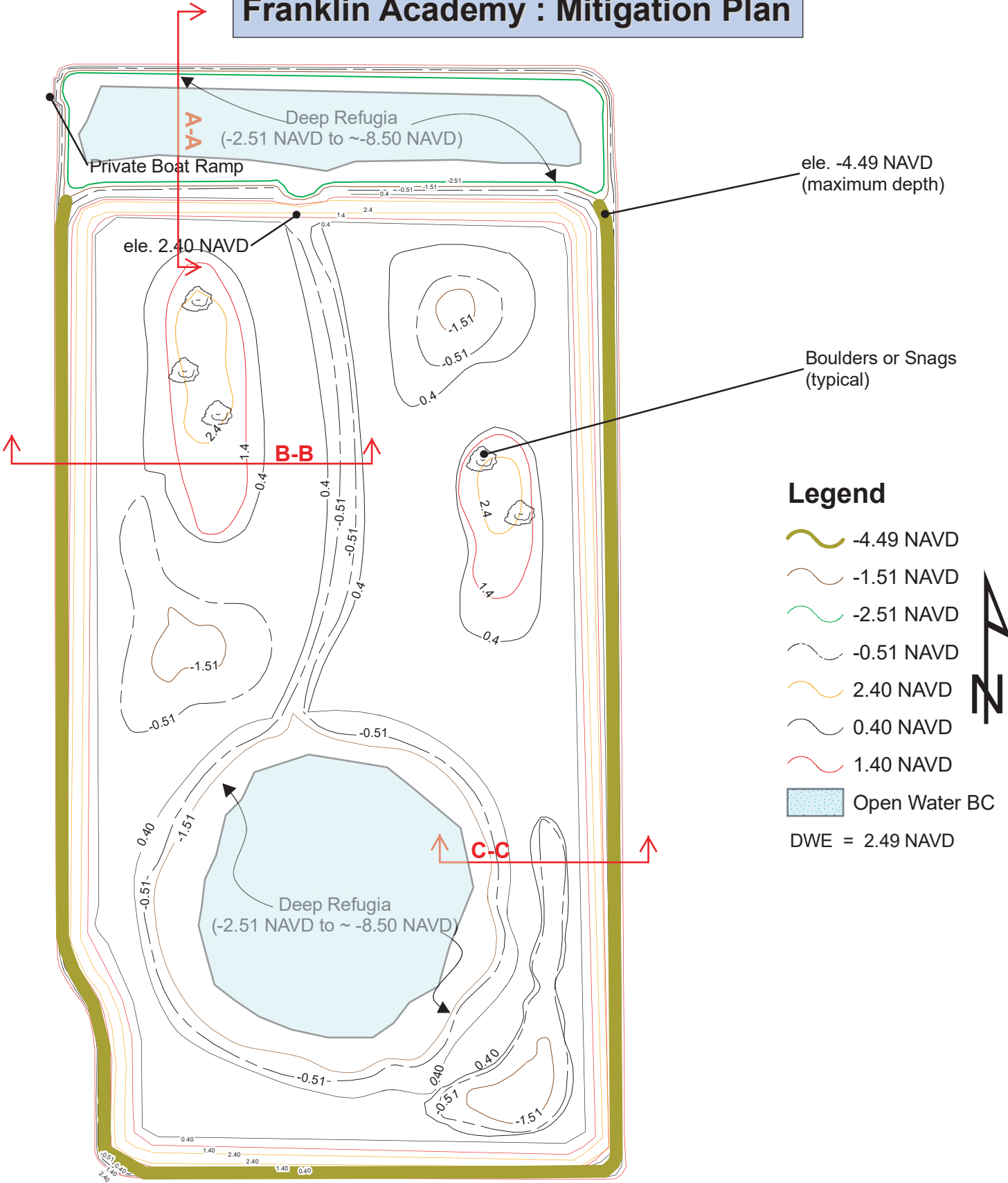
(561) 883-9555  
jjg@jjgoldasich.com

**Franklin Academy**

"Dredge & Fill" Plan  
Wetlands, Mitigation Plan with Site Plan  
Broward County, Florida

**ENV - 2**

# Franklin Academy : Mitigation Plan



08/19/2013      Revised: 09/16/2014

0 25 50 100 150 200  
Feet

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Natural System Analysis

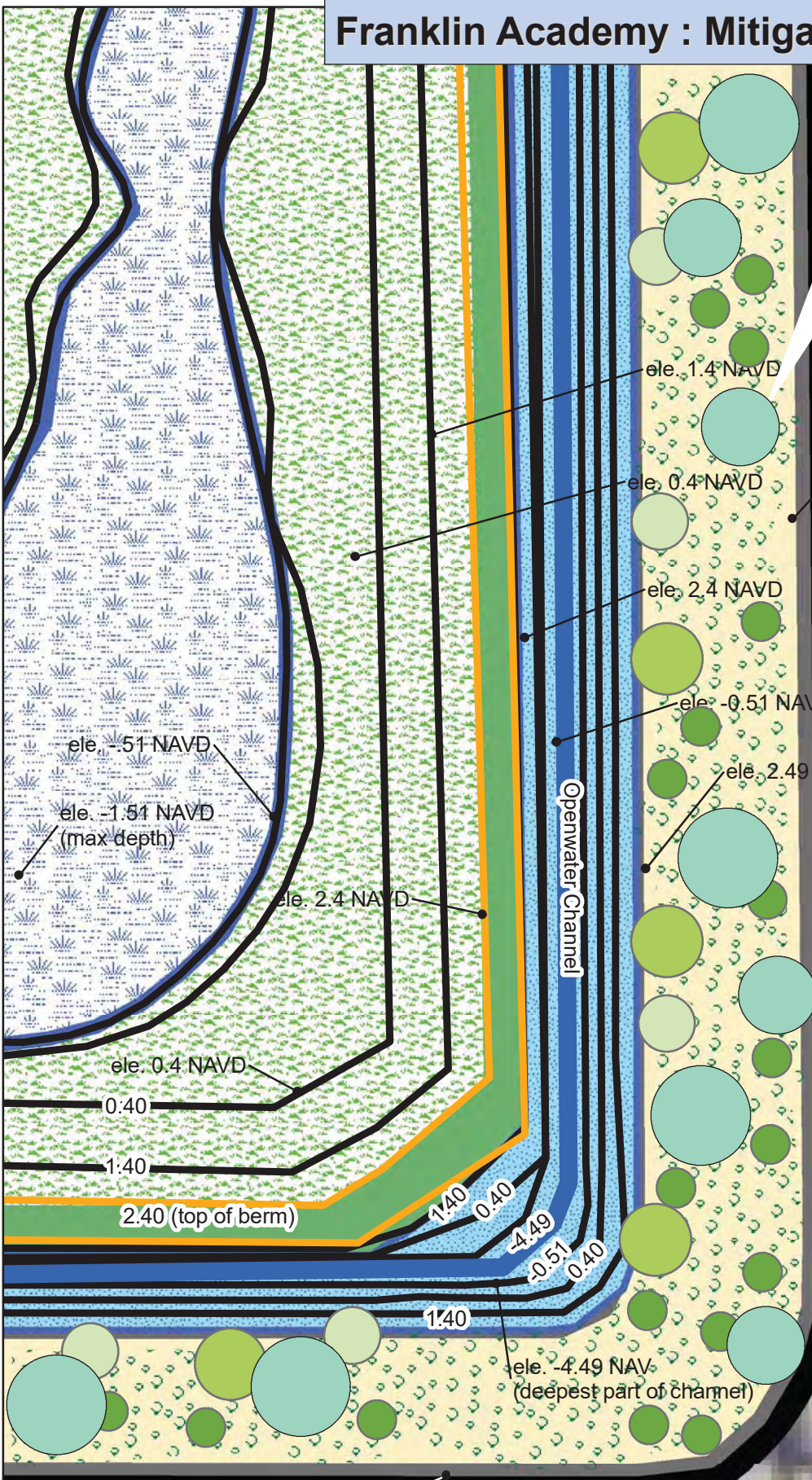
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jjg@jjgolasich.com

**Franklin Academy**

PROPOSED Wetland Mitigation Plan  
Broward County, Florida

**ENV - 3**

# Franklin Academy : Mitigation Plan



Buffer width = 20 feet Uplands and minimum 5 feet Open Water Channel:  
 Area of buffer between and under the woody plantings will be planted with herbaceous vegetation according to planting plan (for complete list see Plan):  
 firebush  
 yaupon holly  
 button bush  
 Coreopsis  
 wild coffee  
 cord grass

- Top of Buffer (5.49 NAVD)
- Red Maple
  - Slash Pine
  - Oak
  - Cypress
  - Pond Apple
  - Shrubs

### Legend

- 4.49 NAVD
- 0.51 NAVD
- 2.40 NAVD
- 0.40 NAVD
- 1.40 NAVD
- Herbaceous Buffer Plantings
- Refugia (1.3 ac)
- Channel v2 (0.9 ac)
- High Wetland v2 (1.0 ac)
- Low Marsh v2 (0.5 ac)
- Marsh v2 (3.7 ac)
- Planted Buffer v2 (1.2 ac)

**Total Conservation Area = 8.7 acres**  
**Total Mitigation Area: 6.7 acres**  
**Mixed Wetland = 5.2 acres**  
**Buffer = 1.5 acres (1.2 upland/0.3 OW)**  
**Open Water (credit = 1.3 acres**  
**Open Water (no credit = 0.7 acres**

Offsite Discharge Structure

08/19/2013      Revised: 07/31/2014

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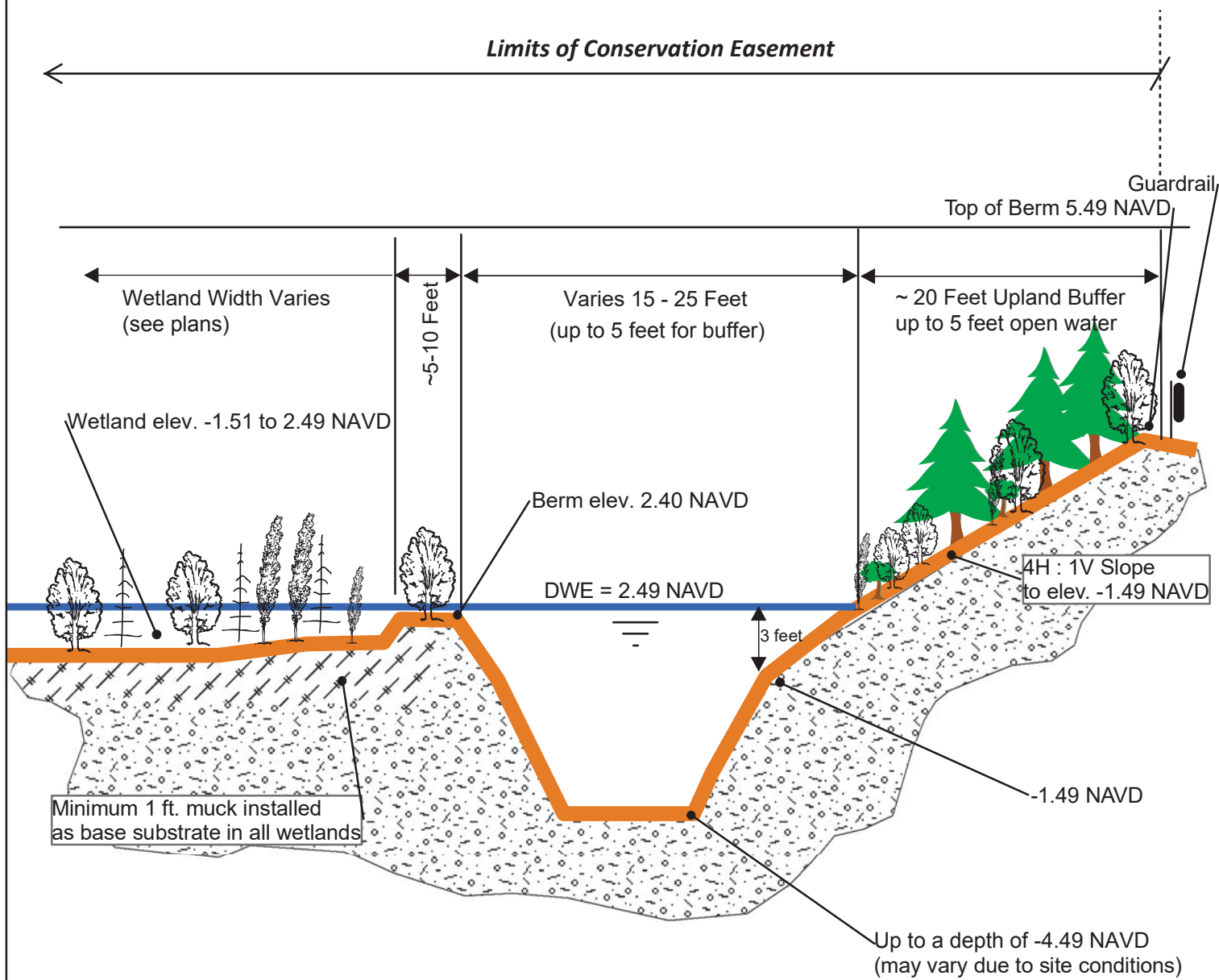
**Franklin Academy**

PROPOSED Wetland Mitigation Plan  
 Broward County, Florida

**ENV - 4**

# Franklin Academy: Wetland / Lake Buffer - Typical Cross Section

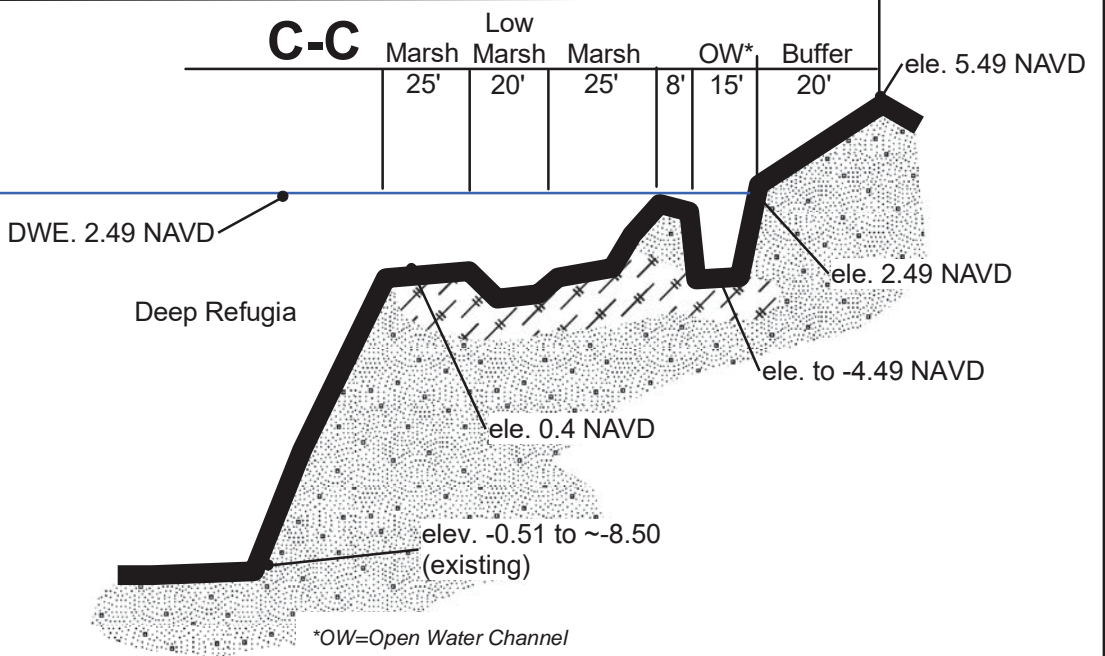
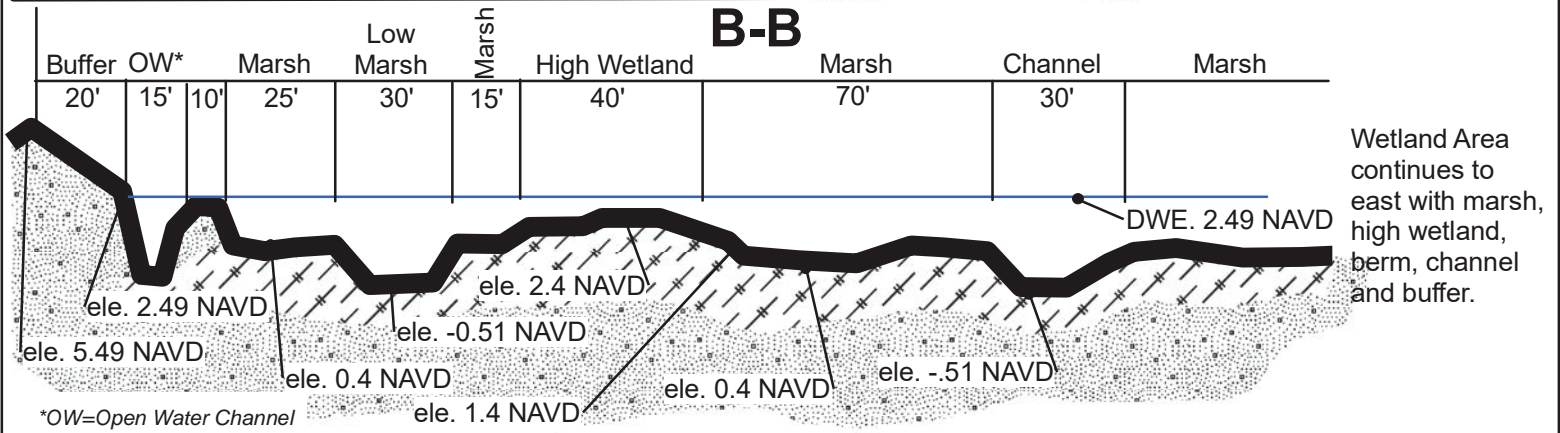
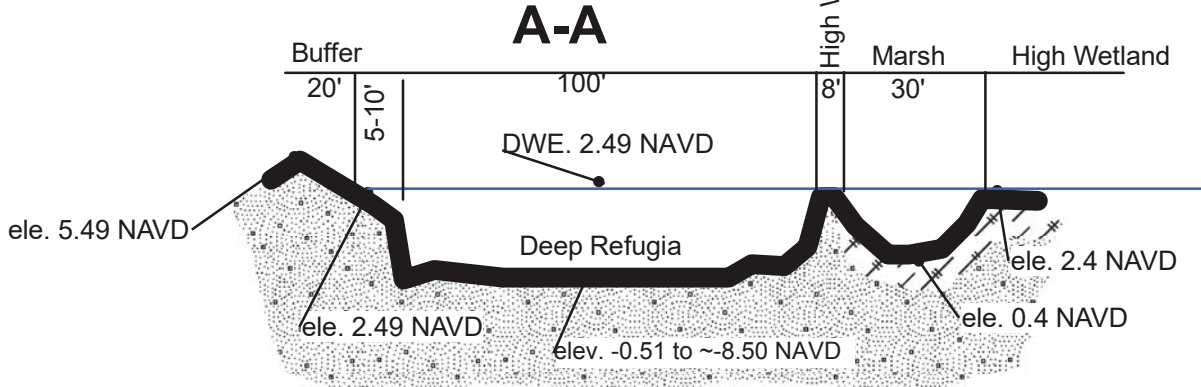
NOTE: All wetland areas and associated upland buffers will be planted according to the wetland mitigation planting plan. This will include a mixture of herbaceous plants (3 ft. O.C.), shrubby plants (~5 ft. O.C.) and trees (~1--15 ft. O.C.). All plants will be native Florida plants with sizes ranging from 25 gallon material for the trees to bare root material for the herbaceous plants. The lake and wetland area will be isolated by a fence to provide protection. Signs will be installed at ~ 100 foot intervals stating that the area is a protected natural area under a "Conservation Easement".



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# Franklin Academy : Cross Sections

- NOTE:**
- 1). All wetland mitigation areas will be covered with a minimum of 1 foot of native wetland soils prior to planting. All wetland soils will come from the project site unless insufficient wetland soils are available onsite. If this condition should arise, suitable areas offsite will be selected for the wetland soils supply.
  - 2). All wetland plants will be supplied from local native plant nurseries and suppliers. All plants will be installed according to the planting plan (Plan) and comply with the size requirements specified in the permit.
  - 3). Planting will commence within 30 days of agency approval of the "as-built" survey.



**Legend**

- Substrate
- Wetland Soil

08/19/2013      Revised: 04/14/2014

Feet

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Natural System Analysis

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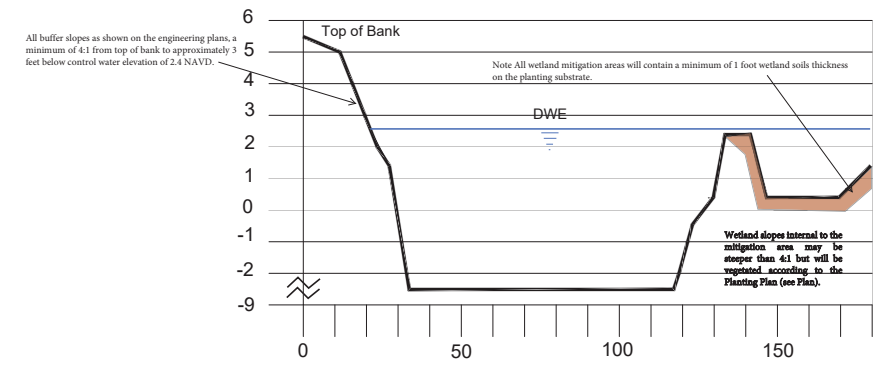
**Franklin Academy**

PROPOSED Wetland Mitigation Plan  
Cross Sections - Wetland Area  
Broward County, Florida

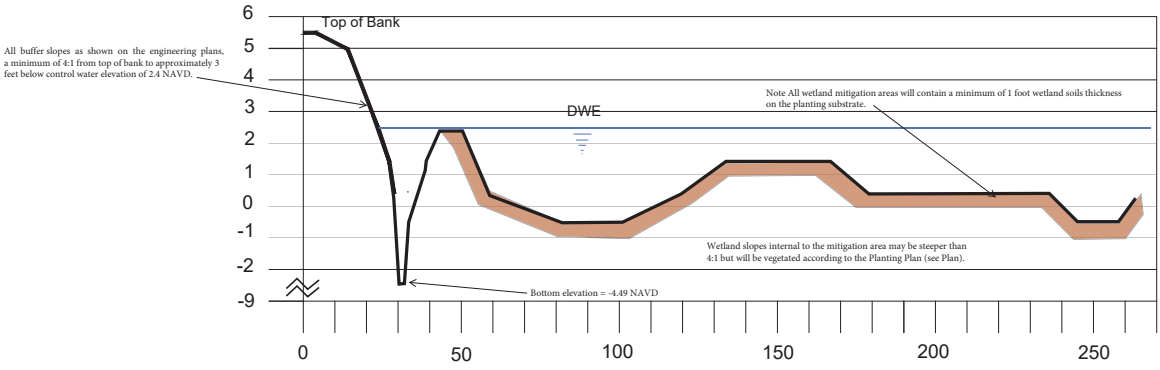
**ENV - 6**



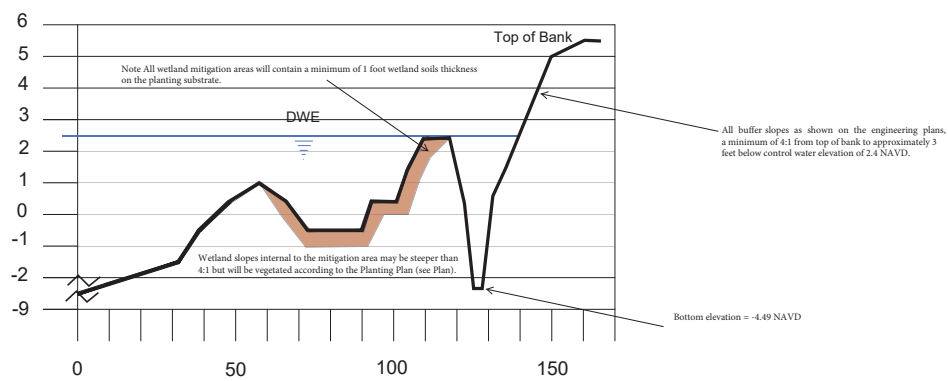
# FRANKLIN SCHOOLS : PINES 6 - 12



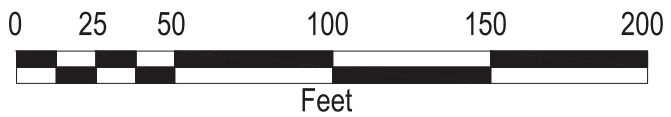
**SECTION A-A**  
1 HOR: 10 VERT



**SECTION B-B**  
1 HOR: 10 VERT



**SECTION C-C**  
1 HOR: 10 VERT



Current Drawing Date: 06/24/2014	J. J. Goldasich and Associates, Incorporated	Franklin schools : Pines 6 - 12 Typical Wetland Mitigation Area Cross Sections Pembroke Pines, Broward County, Florida	Wetland Cross Sections
Revisions # / Date: Add Wetland Soils / 15 MAY 2014			<b>ENV 6a</b>
Add SFWMD slope notes / 24 JUNE 2014			
Add SFWMD channel notes / 16 SEP 2014			
jjg@jgoldasich.com 561.883.9555			

# Franklin Academy: Mitigation Plan

### Typical Conservation Area Sign

~12 inches by 18 inches (actual sign design may vary)



Channel corners shallower to prevent sloughing of substrate into deep refugia

Perimeter Berm Elevation of 2.40 NAVD Extends Around Wetland as Required by Broward County

Location and number of snags & boulders approximate

### Legend (elevation)

- 4.49 NAVD
- 1.51 NAVD
- 2.51 NAVD
- 0.51 NAVD
- 2.40 NAVD
- 0.40 NAVD
- 1.40 NAVD

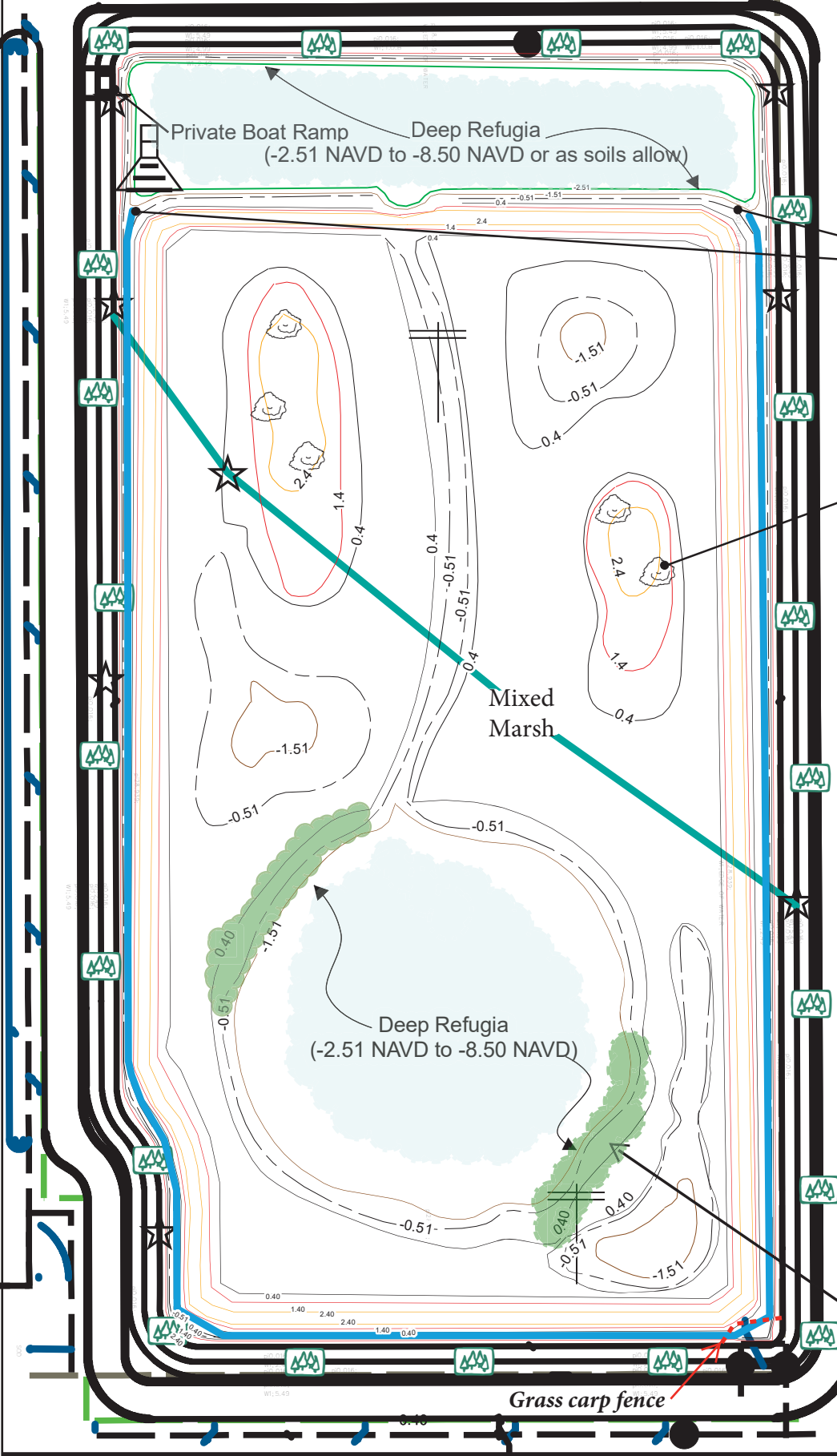


### Legend

- Staff Gauge
- Nesting Platform (2)
- Photo Stations (8)
- Preserve Signs (21)
- Monitoring Transect (~600 LF + 1,200 LF perimeter)
- Snags and Boulders (5 minimum)
- Protected Littoral Area
- Deep Water (1.73 acres, per Broward County Requirements)

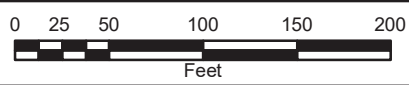


Non-native and otherwise undesirable vegetation to be removed by hand from the Littoral Protection Area and native understory plants will be installed (see Planting Plan)



08/19/2013 Revised: 05/12/2014

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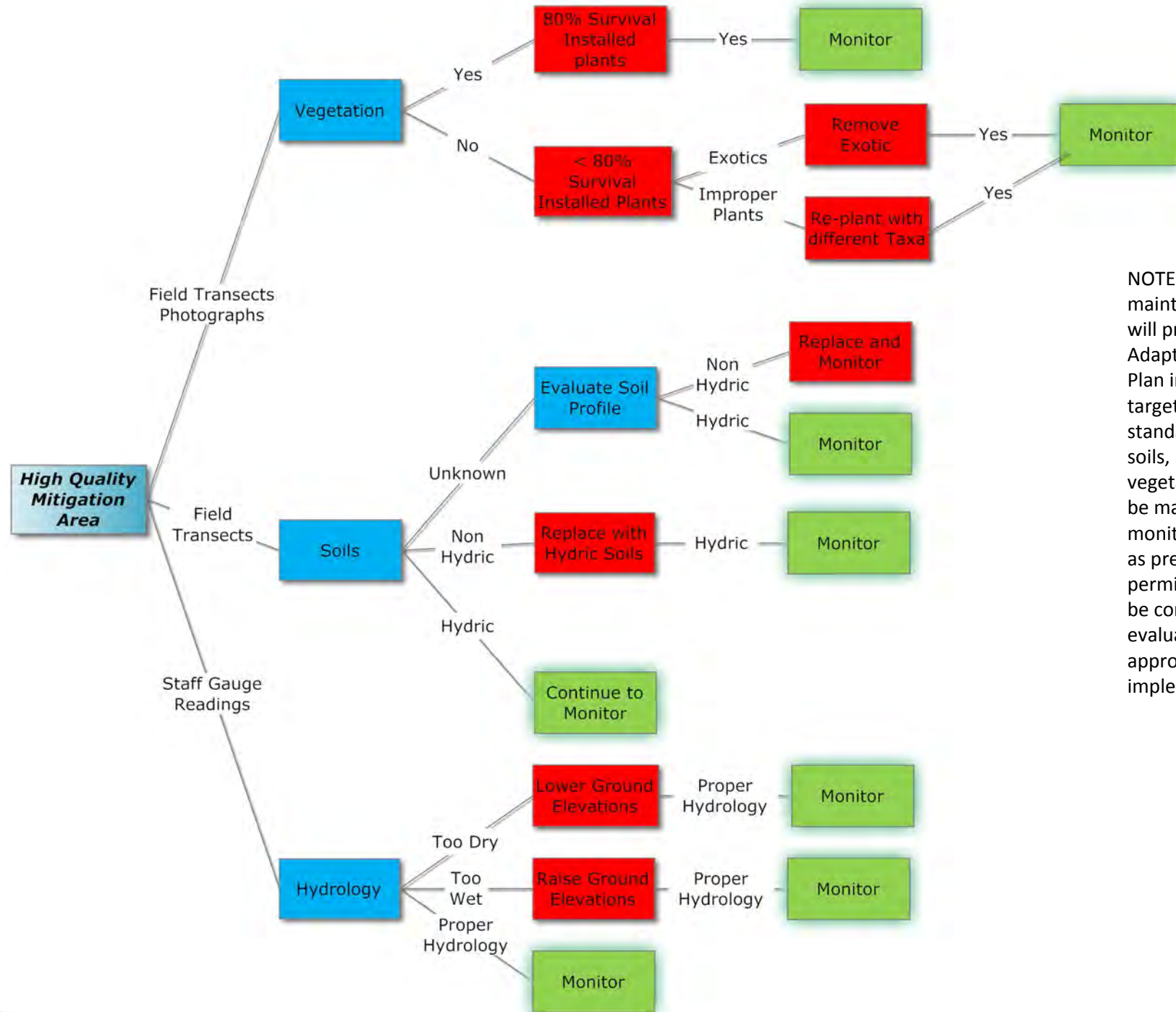


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Franklin Academy

PROPOSED Wetland Mitigation Plan  
Broward County, Florida

ENV - 7



NOTE: Monitoring and maintenance operations will provide data for the Adaptive Management Plan input. Once the target performance standards are met in the soils, hydrology, vegetation notations will be made. However, monitoring will continue as prescribed in the permit so conditions may be continuously evaluated and appropriate responses implemented.



## **Mitigation Area Materials and Methods, Relative Schedule and Mitigation Area Success Criteria:**

### ***A) Mitigation Area Construction Methodology:***

- Scrape surface soils and store wetland soils adjacent to the proposed wetland mitigation area.
- The mitigation area will be lowered to the proposed final design elevations, allowing for a minimum of 1 foot of final wetland soils re-placement on the underlying limestone base.
- Re-placed wetland soils will be allowed to settle ~30 days.
- Conduct preliminary survey to define mitigation area grade for final surface grading
- Final grading will be conducted to establish the proposed final mitigation area communities and grades.
- Final survey to define mitigation area grades and ensure consistency with the proposed plan (community types and approximate extents will be as proposed, but the areas and dimensions may vary due to construction operations).
- Once the surveyed areas are accepted by the agencies, planting will be conducted. All plants, except the ferns, will be installed within 60 days of final mitigation area survey acceptance. Ferns will be installed within 6 months of initial planting to ensure suitable shaded habitat for normal growth and survival.

### ***B) Mitigation Area Monitoring:***

- Ongoing monitoring by a biologist will be conducted during the earthwork phases discussed above, during the survey of the mitigation area and at the completion of plant installations.
- Sampling procedures will be by pedestrian transects through each of the various community types to generate vegetative of coverage data in each of the strata.
- Percent survival for each species will be estimated during the monitoring for the first 6 months following plantings.
- Total community cover by type and total mitigation area coverage will be estimated from areal coverage data for the remainder of the monitoring period.
- Exotic and undesirable vegetation will be identified with respect to location and percent coverage and targeted for removal or approved herbicide treatment within 30 days of identification.
- Non-native and undesirable vegetation will be removed or sprayed with an approved herbicide to ensure a maximum of 2% cover between monitoring and maintenance events and near 0% immediately following maintenance events.

- Monitoring and maintenance event frequency will be one time per month during the first year and quarterly during the following four years.
- Success criteria will be less than 2% non-native and undesirable vegetation cover, a minimum of 80% survival of installed plants for a minimum of 6 months and a minimum of 80% cover of the mitigation area marsh, hydric island, berms and shallow vegetated habitat at the end of year number 3 through year number 5.
- Monitoring reports will be provided to SFWMD on an annual basis within 45 days of the end of each monitoring year. Broward County will be provided quarterly reports within 30 days of each quarterly monitoring event and within 45 days of the year end monitoring event. Each report will have wildlife utilization estimates, hydrology by continuous monitoring method of the staff gauge data, percent survival, percent exotic cover, percent vegetative cover of native wetland vegetation and community type areal extent. Any remedial actions taken during the monitoring period (if any) will also be discussed.

**C) Mitigation Area Management Plan**

- Ongoing operation and maintenance of mitigation area will be by Permittee according to the agreement and CE language.
  - Area to be maintained in perpetuity to meet permit conditions of a minimum of 80% cover by native wetland vegetation in all areas of the mitigation area except deep open water channels as shown on the plan.
- Vegetation establishment will be monitored according to the monitoring plan, should vegetation criteria not be met the Adaptive Management Plan will be implemented until the area meets permit criteria.
  - The Adaptive Management Plan provides for changes in the plant palette, additional soils augmentation, revisions to the maintenance and monitoring schedule specifically needed to address any identified non-compliance areas in the mitigation area. It is used to target and remediate any non-compliance areas in the shortest possible time so that the mitigation area will return to a high quality wetland area as predicted by the permit.
- Non-native plants will be maintained by herbicide treatment or physical removal for the vegetation and electro-shocking and/or physical removal for the grass carp.
- The grass carp exclusion fence will be evaluated each monitoring event and maintained in good condition to effectively eliminate grass carp entry into the mitigation areas.
- Management plan for operation and maintenance
  - See above discussion
- Vegetation establishment

- Vegetation will be monitored by biologists to ensure a minimum of 80% survival after planting and a minimum of 80% cover of native wetland plants after three years throughout the five year monitoring period.
- Exotic and nuisance species control
  - Exotic vegetation will be controlled by physical removal or herbicide treatment.
  - Maintenance operations will be on a monthly basis for the first year and quarterly thereafter for the remaining 5 year monitoring period. Maintenance will continue in perpetuity to ensure the mitigation area remains within permit criteria.
  - If routine maintenance operations reveal a compliance problem, monitoring and maintenance activities will be increased until the issue is resolved.
  - Grass Carp will be controlled by the grass carp exclusion fence.
  - If grass carp are found within the mitigation area they will be removed.
- Access Control
  - Mitigation area access will be controlled by the planted buffer and fencing (see plans).
  - Preserve area signs will be installed as shown on the plans

**D) Detailed schedule for implementation**

- Mitigation Earthwork / Grading
  - Surface soils removed April 2014
  - Surface soils stored adjacent to mitigation area April 2014
  - Mitigation area scraped April 2014
  - Mitigation soils replaced May 2014
  - Mitigation soils settling June 2014
- Mitigation area survey June 2014
- Wetland planting – general July 2014
- Time Zero Report August 2014
- Year 1 Report January 2015
- Year 2 Report January 2016
- Year 3 Report January 2017
- Year 4 Report January 2018
- Year 5 Report January 2019

1.2 Acre Planted Upland Buffer (trees)								
Taxa	Botanical Name	Spacing	Size	Total Number				~ Elevations (NAVD)
				Trees	Herbs	Vines	Shrubs	
red maple	<i>Acer rubrum</i>	10	7 gallon	29				2.4 to 3.0
red maple	<i>Acer rubrum</i>	10	10 gallon	15				2.4 to 5.0
cypress	<i>Taxodium distichum</i>	10	7 gallon	15				2.4 to 3.0
cypress	<i>Taxodium distichum</i>	10	10 gallon	15				2.4 to 3.0
laurel oak	<i>Quercus laurifolia</i>	10	10 gallon	73				3.0 to 5.49
laurel oak	<i>Quercus laurifolia</i>	10	7 gallon	15				3.0 to 5.49
slash pine	<i>Pinus elliottii</i>	10	7 gallon	73				3.0 to 5.49
slash pine	<i>Pinus elliottii</i>	10	10 gallon	73				3.0 to 5.49
Pond apple	<i>Annona glabra</i>	10	7 gallon	44				2.4 to 3.0
<b>Total Trees - Upland Buffer</b>				<b>350</b>				
1.2 Acre Planted Upland Buffer (Shrubs and Herbs)								
coco plum	<i>Chrysobalanus icaco</i>	5	3 gallon				40	2.5 to 3.0
button bush	<i>Cephalanthus occidentalis</i>	5	3 gallon				503	2.4 to 3.0
sunshine mimosa	<i>Mimosa strigillosa</i>	5	1 gallon			101		3.0 to 5.0
coreopsis	<i>Coreopsis lavenworthii</i>	5	liner		503			2.49 to 4.0
native wildflower mix	<i>various (see notes)</i>	Spread Throughout	seed-5 lbs					2.49 to 5.49
Spanish stopper	<i>Eugenia foetida</i>	5	3 gallon				40	3.0 to 5.0
yaupon holly	<i>Ilex vomitoria</i>	5	3 gallon				40	4.0 to 5.49
cord grass	<i>Spartina bakerii</i>	5	1 gallon		805			3.0 to 4.0
muhly grass	<i>Muhlenbergia capillaris</i>	5	1 gallon		402			2.0 to 2.4
firebush	<i>Hamelia patens</i>	5	3 gallon				302	3.0 to 5.0
Myrsine	<i>Myrsine cubana</i>	5	7 gallon				201	4.0 to 5.49
<b>Total Shrubs / Herbaceous Plants - Planted Buffer</b>					<b>1,710</b>	<b>101</b>	<b>1,127</b>	
High Wetland (1.0 Ac.)								
red maple	<i>Acer rubrum</i>	10	10 gallon	29				2.0 to 2.4
red maple	<i>Acer rubrum</i>	10	7 gallon	15				2.4
cypress	<i>Taxodium distichum</i>	10	7 gallon	58				2.0 to 2.4
cypress	<i>Taxodium distichum</i>	10	10 gallon	29				2.4
red bay	<i>Persea borbonia</i>	10	7 gallon	15				2.4
dahoon holly	<i>Ilex cassine</i>	10	7 gallon	29				2.4
dahoon holly	<i>Ilex cassine</i>	10	10 gallon	29				2.4
Pond apple	<i>Annona glabra</i>	10	7 gallon	15				2.0
marsh horsetail	<i>Equisetum hyemale</i>	3	1 gallon		559			2.0 to 2.4
leather fern	<i>Acrostichum danaeifolium</i>	3	1 gallon		559			2.0
swamp fern	<i>Blechnum serrulatum</i>	3	1 gallon		1,676			3.0 to 3.5
pickerel weed	<i>Pontederia cordata</i>	3	bare root		2,793			1.0 to 2.4
cord grass	<i>Spartina bakerii</i>	3	1 gallon				1006	2.4
canna lily	<i>Canna x generalis</i>	3	1 gallon		279			2.4
spider lily	<i>Hymenocallis latifolia</i>	3	1 gallon		279			2.0 to 2.4
button bush	<i>Cephalanthus occidentalis</i>	3	3 gallon				279	2.0 to 2.4
blue flag iris	<i>Iris virginica</i>	3	1 gallon		279			2.0 to 2.4
<b>Total Plants - High Wetland</b>				<b>219</b>	<b>6,423</b>	<b>0</b>	<b>1,285</b>	
3.7 Ac. Marsh and 0.5 Ac. Low Marsh								
blue flag iris	<i>Iris virginica</i>	3	1 gallon		1,117			2.0 to 2.4
duck potato	<i>Sagittaria latifolia</i>	3	bare root		1,676			0.4 to 2.0
pickerel weed	<i>Pontederia cordata</i>	3	bare root		4,189			1.0 to 2.4
gator flag	<i>Thalia geniculata</i>	3	bare root		2,793			-0.51 to 1.0
spike rush	<i>Eleocharis cellulosa</i>	3	bare root		5,585			0.4 to 2.0
canna lily	<i>Canna x generalis</i>	3	bare root		1,117			2.0 to 2.4
marsh horsetail	<i>Equisetum hyemale</i>	3	1 gallon		279			2.4
giant bulrush	<i>Schoenoplectus californicus</i>	3	bare root		1,676			-0.51 to 2.0
sawgrass (Jamaica)	<i>Cladium jamaicense</i>	3	liner		1,117			2.0 to 2.4
softstem bulrush	<i>S. tabernaemontani</i>	3	bare root		1,117			2.0 to 2.4
<b>Total Emergent Plants - Marsh and Low Marsh</b>					<b>20,665</b>	<b>0</b>	<b>0</b>	
0.9 Ac. Channel Areas, Low Marsh and Refugia								
Tape grass	<i>Vallisneria americana</i>	5	bare root		503			-1.0 to 0.4
Bladderwort	<i>Utricularia spp.</i>	5	bare root		503			-1.0 to 0.4
Water lily	<i>Nymphaea odorata</i>	5	bare root		101			-1.0 to 0.4
<b>Total Submergent Plants - Channels, Low Marsh and Refugia</b>					<b>1,107</b>	<b>0</b>	<b>0</b>	

NOTE: Total acreage for each community type should be taken from the environmental and engineering drawings and the community type planting headers shown on this Table. Plants may migrate to elevations other than those shown for initial planting elevations. Plant substitutions allowed only with District approval. DWE = 2.49 NAVD.

Installed plant density will be as follows: 15' OC = 224 plants / acre; 10' OC = 292 plants/acre; 5' OC= 2,012 plants/acre; 3' OC=5,585 plants/acre; 2' OC=12,590 plants/acre. Florida Native Wildflower seed mix will include the following species: *Chamaecrista fasciculata*, *Coreopsis lanceolata*, *C. leavenworthii*, *Gallardia pulchella*, *Solidago stricta*, *Andropogon virginicus*, *Eragrostis elliottii*, *Eragrostis spectabilis*, *Hibiscus grandiflorus*, *Chamaecrista fasciculata*, *Polygonella polygama*, *Sorghastrum secundum*, *Solidago fistulosa*, *Verbesina virginica*, *Gallardia pulchella*, *Liatis gracilis*, *Schizachyrium scoparium*.



Environmental Resource Permit (ERP) and  
Environmental Resource License (ERL)  
Planting Plan

Franklin Schools; Pines  
Onsite Mitigation Planting Quantities

Table 2  
8/15/2015

1.2 Acre Planted Upland Buffer (trees)									
Taxa	Botanical Name	Spacing	Size	Total Number				~ Elevations (NAVD)	
				Trees	Herbs	Vines	Shrubs		
red maple	<i>Acer rubrum</i>	10	7 gallon	29				2.4 to 3.0	
red maple	<i>Acer rubrum</i>	10	10 gallon	15				2.4 to 5.0	
cypress	<i>Taxodium distichum</i>	10	7 gallon	15				2.4 to 3.0	
cypress	<i>Taxodium distichum</i>	10	10 gallon	15				2.4 to 3.0	
laurel oak	<i>Quercus laurifolia</i>	10	10 gallon	73				3.0 to 5.49	
laurel oak	<i>Quercus laurifolia</i>	10	7 gallon	15				3.0 to 5.49	
slash pine	<i>Pinus elliotii</i>	10	7 gallon	73				3.0 to 5.49	
slash pine	<i>Pinus elliotii</i>	10	10 gallon	73				3.0 to 5.49	
Pond apple	<i>Annona glabra</i>	10	7 gallon	44				2.4 to 3.0	
<b>Total 1.2 acre Upland Buffer Trees</b>				<b>350</b>					

1.2 Acre Planted Upland Buffer (Shrubs and Herbs)									
coco plum	<i>Chrysoalanus icaco</i>	5	3 gallon				40	2.5 to 3.0	
button bush	<i>Cephalanthus occidentalis</i>	5	3 gallon				503	2.4 to 3.0	
sunshine mimosa	<i>Mimosa strigillosa</i>	5	1 gallon			101		3.0 to 5.0	
coreopsis	<i>Coreopsis lavenworthii</i>	5	liner		503			2.49 to 4.0	
native wildflower mix	<i>various (see notes)</i>	Spread throughout	seed-5 lbs					2.49 to 5.49	
Spanish stopper	<i>Eugenia foetida</i>	5	3 gallon				40	3.0 to 5.0	
yaupon holly	<i>Ilex vomitoria</i>	5	3 gallon				40	4.0 to 5.49	
cord grass	<i>Spartina bakerii</i>	5	1 gallon		805			3.0 to 4.0	
muhly grass	<i>Muhlenbergia capillaris</i>	5	1 gallon		402			2.0 to 2.4	
firebush	<i>Hamelia patens</i>	5	3 gallon				302	3.0 to 5.0	
Myrsine	<i>Myrsine cubana</i>	5	7 gallon				201	4.0 to 5.49	
<b>Total Shrubs / Herbaceous Plants - Planted Buffer</b>					<b>1,710</b>	<b>101</b>	<b>1,127</b>		

High Wetland (1.0 Ac.)									
red maple	<i>Acer rubrum</i>	10	10 gallon	29				2.0 to 2.4	
red maple	<i>Acer rubrum</i>	10	7 gallon	15				2.4	
cypress	<i>Taxodium distichum</i>	10	7 gallon	58				2.0 to 2.4	
cypress	<i>Taxodium distichum</i>	10	10 gallon	29				2.4	
red bay	<i>Persea borbonia</i>	10	7 gallon	15				2.4	
dahoon holly	<i>Ilex cassine</i>	10	7 gallon	29				2.4	
dahoon holly	<i>Ilex cassine</i>	10	10 gallon	29				2.4	
Pond apple	<i>Annona glabra</i>	10	7 gallon	15				2.0	
<b>Total 1 Acre High Wetland @ 10' OC Spacing</b>				<b>219</b>					

marsh horsetail	<i>Equisetum hyemale</i>	3	1 gallon		559			2.0 to 2.4
leather fern	<i>Acrostichum danaeifolium</i>	3	1 gallon		559			2.0
swamp fern	<i>Blechnum serrulatum</i>	3	1 gallon		1,676			3.0 to 3.5
pickerel weed	<i>Pontederia cordata</i>	3	bare root		2,793			1.0 to 2.4
cord grass	<i>Spartina bakerii</i>	3	1 gallon				1006	2.4
canna lily	<i>Canna x generalis</i>	3	1 gallon		279			2.4
spider lily	<i>Hymenocallis latifolia</i>	3	1 gallon		279			2.0 to 2.4
button bush	<i>Cephalanthus occidentalis</i>	3	3 gallon				279	2.0 to 2.4
blue flag iris	<i>Iris virginica</i>	3	1 gallon		279			2.0 to 2.4
<b>Total 1 Acre High Wetland @ 3' OC Spacing</b>					<b>279</b>		<b>1,285</b>	

3.7 Ac. Marsh and 0.5 Ac. Low Marsh									
blue flag iris	<i>Iris virginica</i>	3	1 gallon		1,117			2.0 to 2.4	
duck potato	<i>Sagittaria latifolia</i>	3	bare root		1,676			0.4 to 2.0	
pickerel weed	<i>Pontederia cordata</i>	3	bare root		4,189			1.0 to 2.4	
gator flag	<i>Thalia geniculata</i>	3	bare root		2,793			-0.51 to 1.0	
spike rush	<i>Eleocharis cellulosa</i>	3	bare root		5,585			0.4 to 2.0	
canna lily	<i>Canna x generalis</i>	3	bare root		1,117			2.0 to 2.4	
marsh horsetail	<i>Equisetum hyemale</i>	3	1 gallon		279			2.4	
giant bulrush	<i>Schoenoplectus californicus</i>	3	bare root		1,676			-0.51 to 2.0	
sawgrass (Jamaica)	<i>Cladium jamaicense</i>	3	liner		1,117			2.0 to 2.4	
softstem bulrush	<i>S. tabernaemontani</i>	3	bare root		1,117			2.0 to 2.4	
<b>Total Emergent Plants - Marsh and Low Marsh</b>					<b>20,665</b>	<b>0</b>	<b>0</b>		

0.9 Ac. Channel Areas, Low Marsh and Refugia									
Tape grass	<i>Vallisneria americana</i>	5	bare root		503			-1.0 to 0.4	
Bladderwort	<i>Utricularia spp.</i>	5	bare root		503			-1.0 to 0.4	
Water lily	<i>Nymphaea odorata</i>	5	bare root		101			-1.0 to 0.4	
<b>Total Submergent Plants - Channels, Low Marsh and Refugia</b>					<b>1,107</b>	<b>0</b>	<b>0</b>		

NOTES:

Installed plant density will be as follows: 15' OC = 224 plants / acre; 10' OC = 292 plants/acre; 5' OC= 2,012 plants/acre; 3' OC=5,585 plants/acre; 2' OC=12,590 plants/acre. Florida Native Wildflower seed mix will include the following species: *Chamaecrista fasciculata*, *Coreopsis lanceolata*, *C. leavenworthii*, *Gaillardia pulchella*, *Solidago stricta*, *Andropogon virginicus*, *Eragrostis elliotii*, *Eragrostis spectabilis*, *Hibiscus grandiflorus*, *Chamaecrista fasciculata*, *Polygonella polygama*, *Sorghastrum secundum*, *Solidago fistulosa*, *Verbesina virginica*, *Gaillardia pulchella*, *Liatris gracilis*, *Schizachyrium scoparium*. Plants may migrate to elevations other than those shown for initial planting elevations. Plant substitutions allowed only with District approval. DWE = 2.49 NAVD.



Table 2

PRELIMINARY ESTIMATES

## Franklin Academy Mitigation Cost Estimate

SUBJECT TO CHANGE

Pembroke Pines 6 - 12 School

7/29/2014

Action	Site	Cost	Project Total	
Clear Vegetation	Throughout mit area	\$2,500.00		
Mitigation Area Scraping	Throughout mit area (~10K cu. yd.)	\$120,000.00		
Final (touch-up) Grade Mitigation Area	Throughout mit area	\$10,000.00		
Install New Vegetation	FW Marsh (2 & 3 ft. O.C.)(0.4 - 1.4 NAVD)	\$74,000.00		
Install New Vegetation	Low Marsh (2 ft. OC) (-1.51 to 0.40 NAVD)	\$37,000.00		
Install New Vegetation	High Marsh (2 ft. OC)(3.0 - 3.8 NGVD)	\$28,000.00		
Install New Vegetation	Upland Buffer (3-10 ft. OC)(2.49 to 5.49 NAVD)	\$24,000.00		
Install Irrigation for Upland Buffer	Upland Buffer (as needed)	\$500.00		
<b>Total Planting &amp; Construction</b>				<b>\$296,000.00</b>
Ongoing Irrigation / Maintenance (5 yrs)	Marsh, Berm, Buffer	\$40,000.00		
Monitoring Year 1	Marsh, Berm, Buffer	\$5,500.00		
Monitoring Years 2 - 3	Marsh, Berm, Buffer	\$4,400.00		
Monitoring Years 4 - 5	Marsh, Berm, Buffer	\$2,400.00		
<b>Total Monitoring &amp; Maintenance (5 yrs)</b>			<b>\$52,300.00</b>	
Project Total			\$348,300.00	
<b>Total + Contingency 10%</b>			<b>\$383,130.00</b>	

NOTE: Vegetative maintenance of the mitigation area will be conducted on a monthly basis for the first year and quarterly for the remaining four years of the five year mitigation area monitoring period.



Name and address of Issuing Institution

Irrevocable letter of Credit No. \_\_\_\_\_ Dated \_\_\_\_\_

Beneficiaries:  
County Administrator  
Broward County Board of County  
Commissioners  
Governmental Center, Room 409  
115 South Andrews Avenue  
Fort Lauderdale, Florida 33301

Applicant: CA MIAMI 20700 GR LLC  
(Developer)

Amount: \$383,130.00  
(In United States Funds)

Expiry: \_\_\_\_\_  
(Date)

And

Deputy Executive Director  
South Florida Water Management  
District  
3301 Gun Club Road  
West Palm Beach, Florida 33406

License No.: DF13-1229  
(Broward County Environmental Protection and Growth  
Management Department's Environmental Resource  
License Number)

Permit No.: 131216-12(app. Number)  
(South Florida Water Management District  
Environmental Resource Permit Number)

Dear Sir or Madam:

We hereby establish our Irrevocable Standby Letter of Credit No. \_\_\_\_\_ in  
your favor, at the request and for the account of CA MIAMI 20700 GR LLC, 3000 Olympic  
Boulevard 2120, Santa Monica, CA 90404

up to the aggregate amount of Three hundred eighty three thousand, one hundred thirty  
dollars and 00 cents.

U.S. dollars \$ 383,130.00, available upon presentation of:

- (1) your sight draft, bearing reference to this letter of credit No. \_\_\_\_\_, and
- (2) your signed statement reading as follows "I certify that the amount of the draft is payable pursuant to that certain Permit No. SFWMD Application No. 131216-12, dated (00/00/0000)

\_\_\_\_\_, issued by the South Florida  
Water Management District.

and/or

- (3) your signed statement reading as follows "I certify that the amount of the draft is payable pursuant to that certain License No. DF13-1229, dated (00/00/0000)  
\_\_\_\_\_, issued by the Broward  
County Environmental Protection & Growth Management Department".

Drafts may be drawn by either beneficiary provided that the drawing is accompanied by:

A letter from the beneficiary that is not drawing, purportedly signed by an authorized individual stating that: "We are aware that (Drawing Beneficiary's Name) \_\_\_\_\_ is drawing under said letter of credit with our agreement for the amount of \$ \_\_\_\_\_ and we do not expect payment for this amount."

It is understood that any payments made hereunder to either beneficiary will automatically reduce the letter of credit and the issuing bank's liability to the other beneficiary by that amount drawn thereunder. We hereby agree with the drawers, endorsers, and bona fide holders of all drafts drawn under and in compliance with the terms of this credit, that such drafts will be duly honored upon presentation to the drawee.

This letter of credit is effective as of 00/00/0000 and shall expire on 00/00/0000 but such expiration date shall be automatically extended without amendment for additional periods of one year from the present or future expiration date unless, at least 120 days before the current expiration date, we notify both you and [ \_\_\_\_\_ ] by certified mail that we have decided not to extend this letter of credit beyond the current expiration date. In the event you are so notified, any unused portion of the credit shall be available upon presentation of your sight draft for 120 days



Document prepared by:  
JJ Goldasich and Associates, Incorporated

Return recorded document to:  
Broward County Environmental Protection and  
Growth Management Department  
Development and Environmental Regulation Division  
1 North University Drive, Suite 301  
Plantation, Florida 33324

**JOINT DEED OF CONSERVATION  
EASEMENT AND AGREEMENT**

THIS DEED OF CONSERVATION EASEMENT ("Conservation Easement") is given this \_\_\_\_ day of \_\_\_\_\_, 2015 by CA MIAMI 20700 GR LLC\_ ("Grantor") whose mailing address is 3000 Olympic Boulevard, Suite 2120, Santa Monica, CA 90404

to the South Florida Water Management District, 3301 Gun Club Road, West Palm Beach, Florida 33406, and Broward County, a political subdivision of the state of Florida, (collectively referred to as "Grantees"), 115 South Andrews Avenue, Room 423, Fort Lauderdale, Florida 33301. As used herein, the term "Grantor" shall include any and all heirs, assigns, successors, or successors-in-interest of the Grantor, and all subsequent owners of the "Property" and "Conservation Area(s)" (as hereinafter defined) and the term "Grantees" shall include any successors, successors-in-interest or assignees of Grantees.

**WITNESSETH**

WHEREAS, the Grantor is the owner of certain lands situated in Broward County, Florida, and more specifically described in Exhibit A, attached and incorporated herein by reference and referred to as the ("Property"); and

WHEREAS, the Grantor desires to construct School, associated parking, sports fields, roadways, stormwater management facilities and wetland mitigation ("Project") on the Property, which Project is subject to regulatory jurisdiction of the South Florida Water Management District ("District") and the Broward County Environmental Protection and Growth Management Department ("EP&GMD or the County"); and

WHEREAS, EP&GMD License No. DF13-1229 as may be modified or reissued and District Permit No. App. #:131216-12 ("District Permit") as may be modified authorize certain activities which affect waters in or of the State of Florida, and/or regulated aquatic or wetland resources located in Broward County, Florida.

WHEREAS, the Grantor has developed and proposed as part of the license and permit conditions a conservation tract, and buffers, as described in Exhibit B attached hereto and incorporated by reference, involving creation, restoration, enhancement and/or preservation of the wetland and/or upland systems ("Conservation Area"); and

WHEREAS, the Grantor, in consideration of the consent granted by the EP&GMD License and District Permit, is agreeable to granting and securing to the Grantees a perpetual Conservation Easement as defined in Section 704.06, Florida Statutes, over the Conservation Area.

NOW, THEREFORE, in consideration of the issuance of the EP&GMD License and District Permit, to construct and operate the permitted activity, and as an inducement to Grantees in issuing the EP&GMD License and District Permit, together with other good and valuable consideration, the adequacy and receipt of which are hereby acknowledged, Grantor hereby grants, creates, and establishes a perpetual Conservation Easement for and in favor of the Grantees upon the Conservation Area which shall run with the land(s) as described in Exhibits A and B, and be binding upon the Grantor, and shall remain in full force and effect forever.

The scope, nature, and character of this Conservation Easement shall be as follows:

1. Recitals. The recitals hereinabove set forth are true and correct and are hereby incorporated into and made a part of this Conservation Easement.
2. Purpose. It is the purpose of this Conservation Easement to retain land and/or water of the Conservation Area in their natural, vegetative, hydrologic, scenic, open, agricultural or wooded condition and to retain such areas as suitable habitat for fish, plants or wildlife. It is the purpose and intent of this Conservation Easement to assure that the Conservation Area will be retained and maintained forever predominantly in the vegetative and hydrologic condition as specified in the EP&GMD License and District Permit. The Conservation Area shall be maintained forever by the Grantor, in the enhanced, restored, preserved and/or created conditions required by the EP&GMD License and District Permit. To carry out this purpose, the following rights are conveyed to Grantees by this Conservation Easement:
  - (a) To enter upon and cross such portions of the Property and the Conservation Area in a reasonable manner and at reasonable times with any necessary equipment or vehicles to ensure compliance and to enforce the rights herein granted.
  - (b) To enjoin any activity on or use of the Conservation Area that is inconsistent with this Conservation Easement and to enforce the restoration of such areas or features of the Conservation Area that may be damaged by any inconsistent activity and/or use.
3. Prohibited Uses. Except for the restoration, creation, enhancement, maintenance and monitoring activities, surface water management improvements, or other activities and improvements related to the Conservation

Area that are permitted or required by the EP&GMD License and the District Permit, the following activities are prohibited in or on the Conservation Area:

- (a) Construction or placing of buildings, roads, signs, billboards or other advertising, utilities, or other structures on or above the ground;
- (b) Dumping or placing of soil or other substance or material as landfill, or dumping or placing of trash, waste, or unsightly or offensive materials;
- (c) Removal or destruction of trees, shrubs, or other vegetation, except for the removal of nuisance or exotic vegetation as approved by EP&GMD and District;
- (d) Excavation, dredging, or removal of loam, peat, gravel, soil, rock, or other material substance in such manner as to affect the surface;
- (e) Surface use except for purposes that permit the land or water area to remain in its natural or enhanced vegetative and hydrologic condition as specified in the EP&GMD License and District Permit;
- (f) Activities detrimental to drainage, flood control, water conservation, erosion control, soil conservation, or fish and wildlife habitat preservation, including but not limited to ditching, diking, and fencing;
- (g) Acts or uses detrimental to said aforementioned retention and maintenance of land or water areas; and
- (h) Acts or uses detrimental to the preservation of any features or aspects of the Conservation Area having historical, archeological or cultural significance.

4. Grantor's Reserved Rights. Grantor reserves all rights as owner of the Conservation Area, including the right to engage in uses of the Conservation Area that are not prohibited herein and which are not inconsistent with the intent and purpose of this Conservation Easement, or any District rule, criteria, or permit, or any County ordinance, license or approval.

5. No Dedication. No right of access by the general public to any portion of the Conservation Area is conveyed by this Conservation Easement.

6. Grantees' Liability. Grantees shall not be responsible for any costs or liabilities related to the operation, upkeep, and maintenance of the Conservation Area and Grantor does hereby indemnify and hold harmless the Grantees from the same.

7. Acts Beyond Grantor's Control. Should any Conservation Area be injured or changed from natural causes, including but not limited to fire, flood, storm and earth movement, the Grantor shall be provided notice and a reasonable opportunity to restore the affected Conservation Area to a condition that satisfies the EP&GMD License and District Permit requirements prior to either Grantee bringing any action for noncompliance with the EP&GMD License and District Permit.

8. Property Taxes. Grantor shall pay any and all real property taxes and assessments levied by competent authority on the Conservation Area. Grantor shall keep the payment of taxes and assessments on the Conservation Area or Property current and shall not allow any lien on the Conservation Area or Property superior to this Conservation Easement. In the event Grantor fails to extinguish or obtain a subordination of such lien, in addition to any other remedy, the Grantees may, but shall not be obligated to, elect to pay the lien on behalf of the Grantor and Grantor shall reimburse Grantees for the amount paid by the Grantees, together with Grantees' reasonable attorney's fees and costs, with interest at the maximum rate allowed by law, no later than thirty days after such payment. In the event the Grantor does not so reimburse the Grantees, the debt owed to Grantees shall constitute a lien against the Conservation Area and/or Property which shall automatically relate back to the recording date of this Conservation Easement. Grantees may foreclose this lien on the Conservation Area or Property in the manner provided for mortgages on real property.

9. Enforcement. The terms and conditions of this Conservation Easement may be enforced by the Grantees by injunctive relief and other available remedies. In any action in which the Grantees prevail, the Grantees shall be entitled to recover the cost of restoring the Conservation Area to the natural vegetative, hydrologic, scenic, open, agricultural or wooded condition existing at the time of execution of this Conservation Easement or to the vegetative and hydrologic condition required by the aforementioned EP&GMD License and District Permit. Venue for said actions shall be exclusively in the Seventeenth Judicial Circuit, in and for Broward County, Florida. These remedies are in addition to any other remedy, fine or penalty which may be applicable under the *most recent versions of Chapter 27 of the Broward County Code of Ordinances*, Chapter 40E-4, F.A.C., et. seq., Chapter 373, Florida Statutes, or as otherwise provided by law. Enforcement of the terms, provisions, and restrictions of this Conservation Easement shall be at the reasonable discretion of Grantees, and any forbearance on behalf of Grantees to exercise their rights hereunder in the event of any breach hereof by Grantor, shall not be deemed or construed to be a waiver of Grantees' rights hereunder.

10. Assignment. Grantees will hold this Conservation Easement exclusively for conservation purposes. Grantees will not assign their rights and obligations under this Conservation Easement except to another organization or entity qualified to hold such interests under the applicable state laws.



11. Restoration. Grantor agrees to restore the Conservation Area to the vegetative and hydrologic condition required by the aforementioned EP&GMD License and District Permit if any third party exercises any easement right or property interest or conducts any other activity on the property that causes damage, degradation or negative impacts to the Conservation Area.

12. Maintenance. Grantor's obligation to retain and maintain the Conservation Area forever predominantly in the vegetative and hydrologic condition as herein specified shall run with the lands(s) described in Exhibits A and B, and shall be binding upon the Grantor, and shall inure to the benefit of the Grantees, and more particularly set forth herein. The intent of this Conservation Easement is that the responsibilities and liabilities associated with the Conservation Easement shall run with the land(s) described in Exhibits A and B, and be binding upon the fee simple title holder of those land(s) as required hereunder.

13. Severability. If any provision of this Conservation Easement or the application thereof to any person or circumstances is found to be invalid, the remainder of the provisions of this Conservation Easement shall not be affected thereby, as long as the purpose of the Conservation Easement is preserved.

14. Written Notice. All notices, consents, approvals or other communications hereunder shall be in writing and shall be deemed properly given if sent by United States certified mail, return receipt requested, addressed to the appropriate party or successor-in-interest.

15. Terms and Restrictions. The terms, conditions, restrictions and purpose of this Conservation Easement shall be inserted by Grantor in any subsequent deed or other legal instrument by which Grantor divests itself of any interest in the land(s) described in Exhibit A or B. Any future holder of the Grantor's interest in the land(s) described in Exhibit A or B shall be notified in writing by Grantor of this Conservation Easement.

16. Modifications. This Conservation Easement may be amended, altered, *released or revoked only by written agreement between the Grantor and Grantees.*

TO HAVE AND TO HOLD unto Grantees forever. This Conservation Easement shall be recorded in the Public Records of Broward County and the covenants, terms, conditions, restrictions and purpose imposed with this Conservation Easement shall not only be binding upon Grantor, but also its agents, heirs, assigns, successors and successor-in-interest and shall continue as a servitude running in perpetuity with the *land(s) described in Exhibits A and B.*

Grantor hereby covenants with said Grantees that Grantor is lawfully seized of said Conservation Area in fee simple; that the Conservation Area is free and clear of all

encumbrances that are inconsistent with the terms of this Conservation Easement and all mortgages have been joined or subordinated; that Grantor has good right and lawful authority to convey this Conservation Easement; and that it hereby fully warrants and defends the title to this Conservation Easement hereby conveyed against the lawful claims of all persons whomsoever.

(INTENTIONALLY LEFT BLANK)


**OWNER - CORPORATION/PARTNERSHIP**

Signed, Sealed and Delivered  
in the Presence of:

CA MIAMI 20700 GR LLC, a Delaware limited  
liability company

\_\_\_\_\_  
Print Name: \_\_\_\_\_

\_\_\_\_\_  
Print Name: \_\_\_\_\_

By:   
Print Name: Daniel Millman  
Title: Vice President

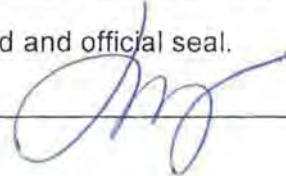
A notary public or other officer  
completing this certificate verifies only  
the identity of the individual who signed  
the document to which this certificate is  
attached, and not the truthfulness,  
accuracy, or validity of that document.

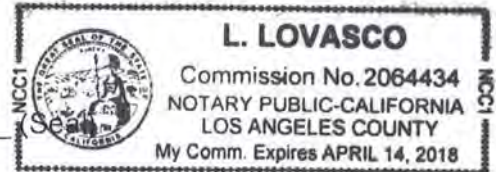
State of California )  
)  
County of Los Angeles )

On August 10, 2015 before me, L. Lovasco  
notary public, (Here insert name and title of  
the officer) personally appeared Daniel Millman, who proved to  
me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed  
the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s)  
on the instrument the person(s), or the entity upon behalf of which the person(s) acted,  
executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the  
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 



IN WITNESS WHEREOF, \_\_\_\_\_ has  
hereunto set its authorized hand this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_.

**OWNER - INDIVIDUAL**

Signed, sealed and delivered  
in our presence as witnesses:

\_\_\_\_\_  
Name of Owner (Individual)

\_\_\_\_\_  
(Signature)  
Print Name \_\_\_\_\_

\_\_\_\_\_  
(Signature)  
Print Name \_\_\_\_\_  
Print Address \_\_\_\_\_

\_\_\_\_\_  
(Signature)  
Print Name \_\_\_\_\_

**ACKNOWLEDGMENT - INDIVIDUAL**

STATE OF FLORIDA     )  
  ) ss  
COUNTY OF \_\_\_\_\_)

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of  
\_\_\_\_\_, 20 \_\_\_\_\_, by \_\_\_\_\_ who is:  
 personally known to me, or  
 produced identification. Type of identification produced \_\_\_\_\_.

NOTARY PUBLIC-STATE OF FLORIDA:

\_\_\_\_\_  
Signature of Notary Public-State of Florida

\_\_\_\_\_  
Print, type, or stamp Commissioned Name  
My commission expires:  
Affix Seal Below



### Mortgage Subordination

By signing below mortgage holder agrees the lien of any mortgage on the real property described in Exhibit "A" and Exhibit "B" shall be subordinate to the subject conservation easement.

#### MORTGAGEE

Witnesses (if partnership)

\_\_\_\_\_  
(Signature)  
Print Name \_\_\_\_\_

\_\_\_\_\_  
(Signature)  
Print Name \_\_\_\_\_

\_\_\_\_\_  
Name of Mortgagee (corporation/partnership)

By \_\_\_\_\_  
(Signature)

Print Name: \_\_\_\_\_

Title \_\_\_\_\_

Address \_\_\_\_\_

\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

ATTEST (if corporation)

(CORPORATE SEAL)

\_\_\_\_\_  
Corporate Secretary Signature  
Print Name of Corporate Secretary \_\_\_\_\_

#### ACKNOWLEDGMENT - CORPORATION/PARTNERSHIP

STATE OF FLORIDA        )  
  ) ss  
COUNTY OF \_\_\_\_\_)

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_, by \_\_\_\_\_ as \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_ corporation/partnership, on behalf of the corporation/partnership. He or she is:

[ ] personally known to me, or  
[ ] produced identification. Type of identification produced \_\_\_\_\_

NOTARY PUBLIC-STATE OF FLORIDA:

\_\_\_\_\_  
Signature of Notary Public-State of Florida

\_\_\_\_\_  
Print, type, or stamp Commissioned Name

My commission expires:

Affix Seal Below

**ACCEPTANCE BY BROWARD COUNTY**

The Broward County Board of County Commissioners hereby accepts this Conservation Easement for EP&GMD License No. \_\_\_\_\_,

ATTEST;

BROWARD COUNTY, through its  
BOARD OF COUNTY COMMISSIONERS

\_\_\_\_\_  
County Administrator and  
Ex-Officio Clerk of the  
Board of County Commissioners  
of Broward County, Florida

By \_\_\_\_\_  
Mayor

\_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_

Approved as to form by  
Office of County Attorney  
Broward County, Florida  
JEFFREY J. NEWTON, County Attorney  
Governmental Center, Suite 423  
115 South Andrews Avenue  
Fort Lauderdale, Florida 33301  
Telephone: (954) 357-7600  
Telecopier: (954) 357-6968

\_\_\_\_\_  
Assistant County Attorney

**ACKNOWLEDGMENT OF AND AGREEMENT TO  
JOINT DEED OF CONSERVATION EASEMENT AND AGREEMENT**

The undersigned, being the Tenant under that certain Lease and Development Agreement dated as of June 29, 2015, between Grantor, as Landlord, and the undersigned, as Tenant, a Memorandum of Lease of which was recorded as Instrument Number 113140654, in the applicable public records of Broward County, Florida, hereby acknowledges and agrees to this Joint Deed of Conservation Easement and Agreement as of the date and year first written above:

Signed, sealed and delivered in the presence of:

"Tenant"

\_\_\_\_\_  
Printed Name: \_\_\_\_\_  
Witness

FLORIDA CHARTER FOUNDATION, INC.,  
a Florida not-for-profit corporation

\_\_\_\_\_  
Printed Name: \_\_\_\_\_  
Witness

By: \_\_\_\_\_  
Printed Name: \_\_\_\_\_  
Title: \_\_\_\_\_

STATE OF FLORIDA                    )  
  ) §  
COUNTY OF BROWARD                )

The foregoing Acknowledgement of and Agreement to Joint Deed of Conservation Easement and Agreement was acknowledged before me this \_\_\_\_ day of August, 2015, by \_\_\_\_\_ as \_\_\_\_\_ of Florida Charter Foundation, Inc., a Florida not-for profit corporation, as Tenant, \_\_\_\_\_ who is personally known to me or \_\_\_\_\_ who has produced \_\_\_\_\_ as identification.

Witness my hand and official seal in the county and state last aforesaid this \_\_\_\_ day of August, 2015.

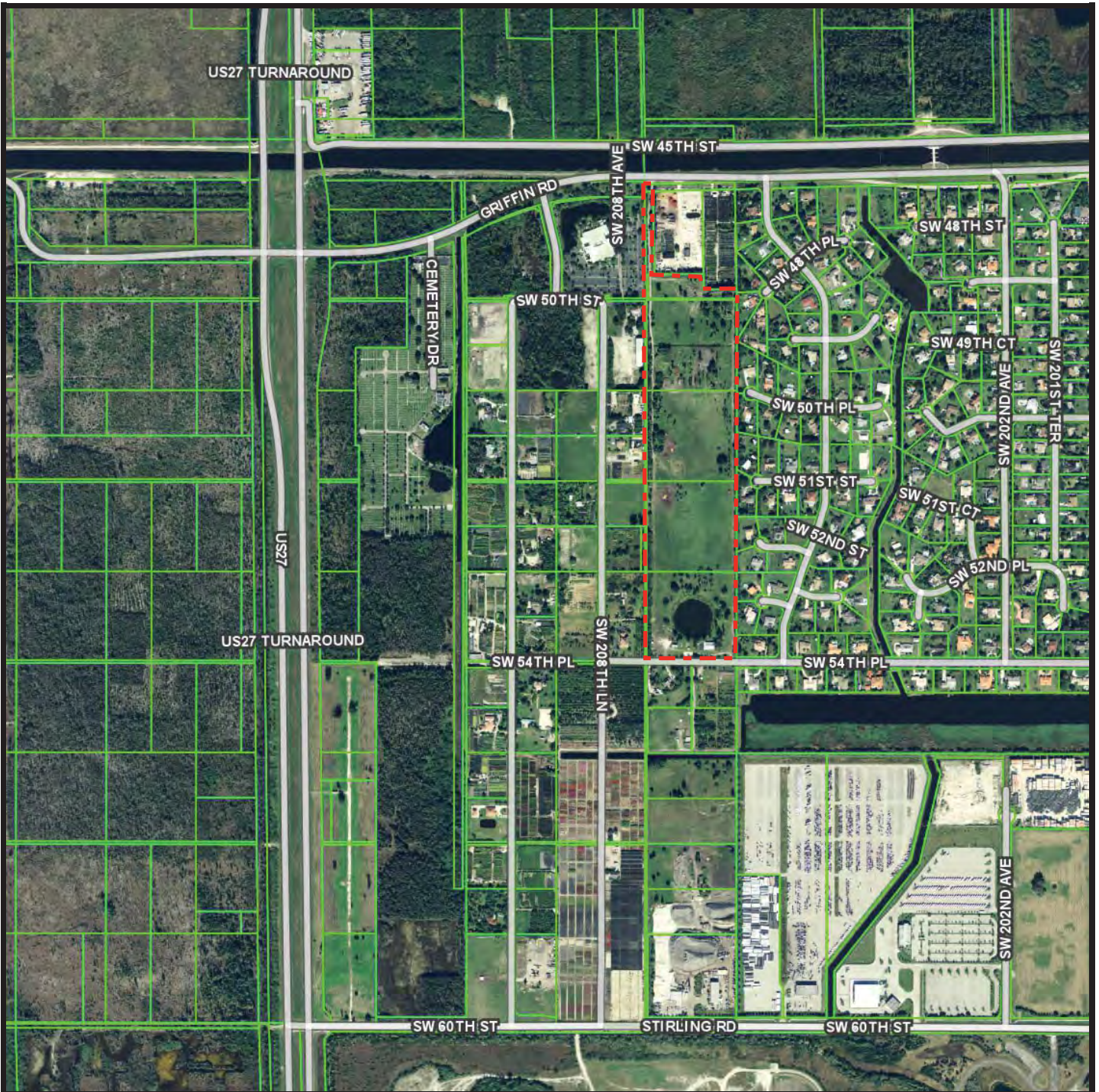
(NOTARY SEAL OR STAMP)

\_\_\_\_\_  
Printed Name: \_\_\_\_\_  
Notary Public  
State of Florida at Large



EXHIBIT A

Parcel A, FRANKLIN ACADEMY 6-12, according to the Plat thereof recorded in Plat Book 181, Page 189, of the Public Records of Broward County, Florida.



### Franklin Schools Location Map

Streets MapWise  
Parcel Outlines



# EXHIBIT "B"

## DESCRIPTION:

A CONSERVATION EASEMENT, BEING A PORTION OF PARCEL A OF FRANKLIN ACADEMY 6-12, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 181, PAGES 189 THROUGH 193 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST ONE-QUARTER CORNER OF SECTION 35, TOWNSHIP 50 SOUTH, RANGE 39 EAST BROWARD COUNTY, FLORIDA; THENCE, ALONG THE WEST LINE OF SAID SECTION 35 NORTH 00°13'54" WEST, A DISTANCE OF 144.68 FEET; THENCE, DEPARTING SAID WEST LINE, NORTH 89°46'06" EAST, A DISTANCE OF 146.00 FEET TO THE POINT OF BEGINNING;

THENCE, NORTH 00°13'54" WEST, A DISTANCE OF 74.22 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 66.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 40°47'55", A DISTANCE OF 47.00 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 41.00 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 40°47'55", A DISTANCE OF 29.19 FEET TO THE POINT OF TANGENCY; THENCE NORTH 00°13'54" WEST, A DISTANCE OF 681.94 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 15.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°06'22", A DISTANCE OF 23.59 FEET TO THE POINT OF TANGENCY; THENCE NORTH 89°52'28" EAST, A DISTANCE OF 392.66 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 33.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 89°54'10", A DISTANCE OF 51.78 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 00°13'22" EAST, A DISTANCE OF 824.04 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 9.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°05'50", A DISTANCE OF 14.15 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 89°52'28" WEST, A DISTANCE OF 380.53 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 25.00 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 89°53'38", A DISTANCE OF 39.22 FEET TO THE POINT OF BEGINNING.

CONTAINING 377,530 SQUARE FEET OR 8.7 ACRES, MORE OR LESS.

## LEGEND/ABBREVIATIONS

- |  |                                |
|--|--------------------------------|
| Δ - DELTA (CENTRAL ANGLE)              | O.R.B. - OFFICIAL RECORDS BOOK |
| L - ARC LENGTH                         | P.B. - DENOTES PLAT BOOK       |
| R - RADIUS                             | PG. - DENOTES PAGE             |
| B.C.R. - BROWARD COUNTY RECORDS        | P.O.C. - POINT OF COMMENCEMENT |
| SBDD - SOUTH BROWARD DRAINAGE DISTRICT | P.O.B. - POINT OF BEGINNING    |
| DCR. - DADE COUNTY RECORDS             |                                |


## NOTES:

1. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
3. BEARINGS SHOWN HEREON ARE BASED ON THE WEST LINE OF SECTION 35, TOWNSHIP 50 SOUTH, RANGE 36 EAST HAVING A BEARING OF NORTH 00°13'54" WEST.
4. THE "LAND DESCRIPTION" HEREON WAS PREPARED BY THE SURVEYOR
5. DATA SHOWN HEREON WAS COMPILED FROM INSTRUMENTS OF RECORD AND DOES NOT CONSTITUTE A BOUNDARY SURVEY AS SUCH.

## CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED SKETCH OF DESCRIPTION OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION ON AUGUST 4, 2015. I FURTHER CERTIFY THAT THIS SKETCH OF DESCRIPTION MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS PURSUANT TO FLORIDA STATUTES 472.027.

SHEET 1 OF 2

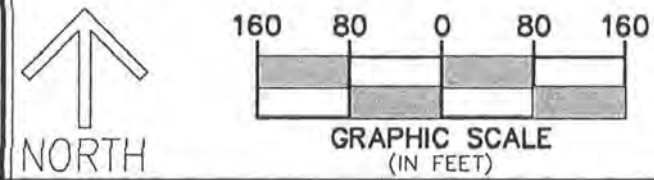
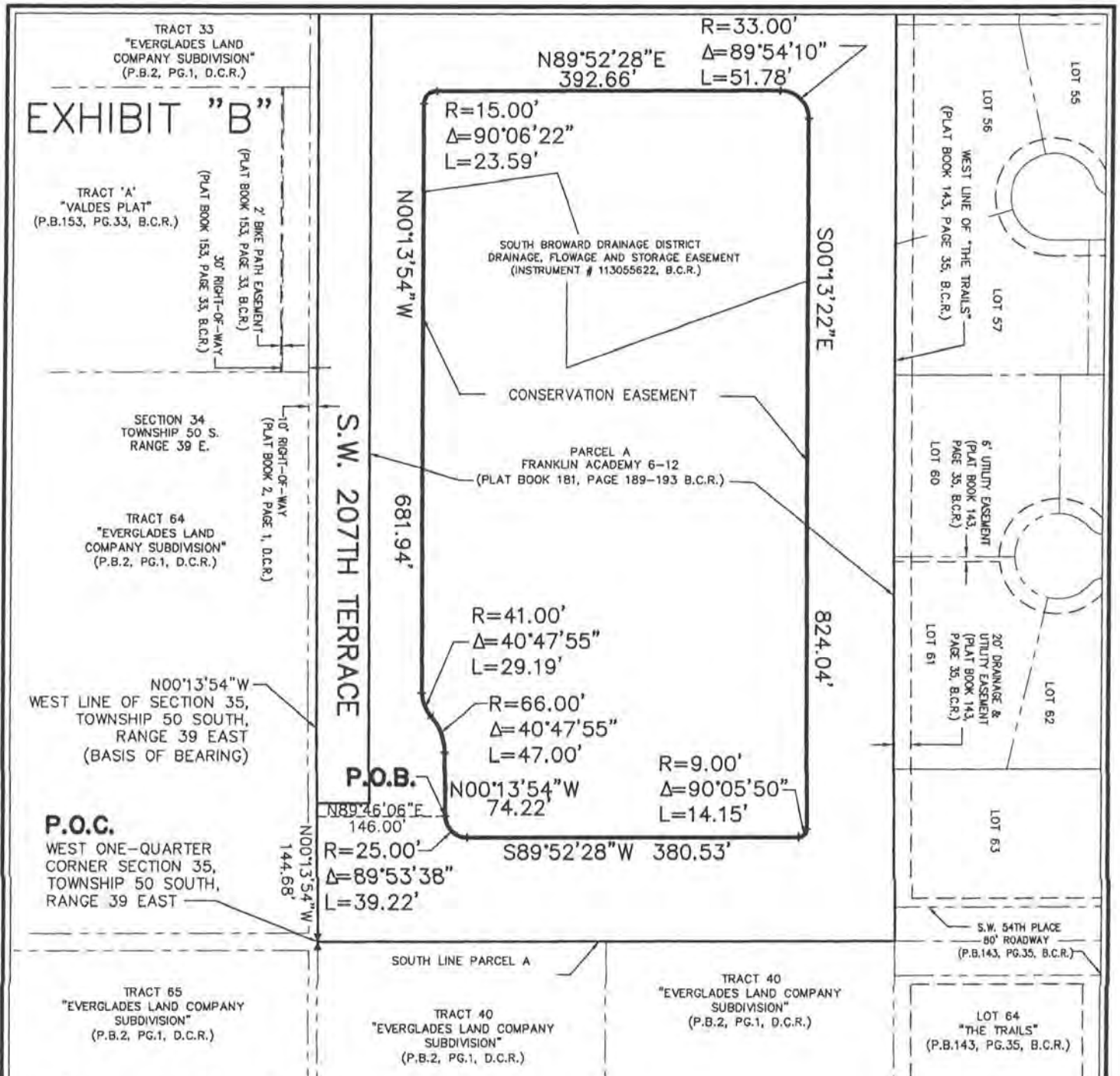


**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING - LAND SURVEYING  
 7900 GLADES ROAD - SUITE 100  
 BOCA RATON, FLORIDA 33434  
 PHONE (561)-392-1991 / FAX (561)-750-1452


DAVID P. LINDLEY  
 REGISTERED LAND  
 SURVEYOR NO. 5005  
 STATE OF FLORIDA  
 LB# 3591

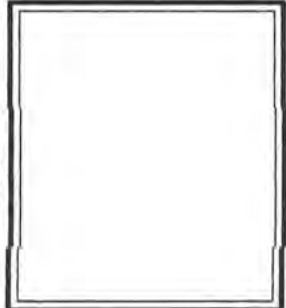
DATE	08/04/15
DRAWN BY	DLS
F.B./ PG.	N/A
SCALE	AS SHOWN
JOB NO.	6440FACE

**CONSERVATION  
 EASEMENT  
 SKETCH OF DESCRIPTION**



SHEET 2 OF 2

**CAULFIELD & WHEELER, INC.**  

 CIVIL ENGINEERING - LAND SURVEYING  
 7900 GLADES ROAD - SUITE 100  
 BOCA RATON, FLORIDA 33434  
 PHONE (561)-392-1991 / FAX (561)-750-1452



DATE	08/04/15
DRAWN BY	DLS
F.B./ PG.	N/A
SCALE	AS SHOWN
JOB NO.	6440FACE

**CONSERVATION  
EASEMENT  
SKETCH OF DESCRIPTION**

**South Florida Water Management District**  
**Work Schedule Requirements**

**Application No** : 131216-12

Page 1 of 1

**Mitigation Plan ID:** FRANKLIN ACADEMY

<b>Activity</b>	<b>Due Date</b>
SUBMIT ORIGINAL FINANCIAL ASSURANCE DOCUMENTATION	16-NOV-15
SUBMIT RECORDED CONSERVATION EASEMENT	16-JAN-16
SITE INSPECTION	16-MAR-16
SUBMIT AS-BUILT SURVEY OF MITIGATION AREA	16-MAR-16
COMPLETE PLANTING MITIGATION AREA	16-APR-16
SUBMIT TIME ZERO MONITORING REPORT	16-MAY-16
SUBMIT FIRST MONITORING REPORT	16-MAY-17
SUBMIT SECOND MONITORING REPORT	16-MAY-18
SUBMIT THIRD MONITORING REPORT	16-MAY-19
SUBMIT FOURTH MONITORING REPORT	16-MAY-20
SUBMIT FIFTH MONITORING REPORT	16-MAY-21

**FRANKLIN ACADEMY PEMBROKE PINES  
MIDDLE AND HIGH SCHOOL**

Permit No: 06-01400-S-24

**Exhibit 4 – UNIFORM WETLAND MITIGATION -  
Incorporated by Reference  
(See ePermitting System)**

## STAFF REPORT DISTRIBUTION LIST

FRANKLIN ACADEMY PEMBROKE PINES MIDDLE AND HIGH SCHOOL

**Application No:** 131216-12

**Permit No:** 06-01400-S-24

### INTERNAL DISTRIBUTION

- X Joseph D. Santangelo
- X Robert F. Hopper
- X Carlos A. de Rojas, P.E.
- X Barbara J. Conmy
- X A. Waterhouse

### EXTERNAL DISTRIBUTION

- X Permittee - Ca Miami 20700 Gr Lic.
- X Applicant - Florida Charter Foundation
- X Engr Consultant - Ross Engineering Inc
- X Env Consultant - J J Goldasich And Associates Inc

### GOVERNMENT AGENCIES

- X Broward County - Director, Water Mgmt Div
- X City of Pembroke Pines
- X Div of Recreation and Park - District 5 - Miranda Cunningham, FDEP
- X South Broward Drainage District

### OTHER INTERESTED PARTIES

- X Audubon of Florida - Charles Lee

## STAFF REPORT DISTRIBUTION LIST

### ADDRESSES

Florida Charter Foundation  
1120 S E 3rd Avenue  
Fort Lauderdale FL 33316

Ross Engineering Inc  
3325 S Univesity Drive  
Davie FL 33328

J J Goldasich And Associates Inc  
P O Box 811988  
Boca Raton FL 33481-1988

Ca Miami 20700 Gr Llc.  
3000 Olympic Blvd.  
Suite 2120  
Santa Monica FL 90404

Broward County - Director, Water Mgmt Div  
2555 W Copans Rd  
Pompano FL 33069  
jcrouse@broward.org

City of Pembroke Pines  
13975 Pembroke Road  
Pembroke Pines FL 33027

Div of Recreation and Park - District 5 - Miranda  
Cunningham, FDEP  
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Hobe Sound FL 33455  
miranda.cunningham@dep.state.fl.us

South Broward Drainage District  
6591 Sw 160 Ave  
Southwest Ranches FL 33331  
kevin@sbdd.org

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1101 Audubon Way  
Maitland FL 32751  
chlee2@earthlink.net